

Staff Report to Council

Planning and Development

			FILE: 3360-20-2020-01
REPORT DATE:	February 03, 2021	MEETING DATE	E: March 02, 2021
TO:	Mayor and Council		
FROM:	Anne Berry, Director of P	anning and Deve	lopment
SUBJECT:	Rezoning Application for	19072 Advent Ro	ad
CHIEF ADMINISTI	RATIVE OFFICER REVIEW/	APPROVAL:	my
RECOMMENDAT	TION(S): THAT Council:		•
A.		19072 Advent R	Bylaw No. 2857, 2020 to oad from RS (Large Lot RM-6); AND
В.	Direct staff to schedule Meeting of Council; OR	a Public Hearing	for an upcoming Regular
C.	Other.		
<u>PURPOSE</u>			
	application to rezone the s seven unit townhouse ng.		
☐ Information Rep	oort 🛮 🖾 Decision Rep	ort	☐ Direction Report
<u>DISCUSSION</u>			
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Background:

This application was initially considered by Council at the September 15, 2020 Meeting, where Council passed the following motion:

"THAT Council:

REFER back to Staff to confirm the Applicant's plans for the property located at 19072 Advent Road.

CARRIED"

At that meeting, there was some discussion about the developer considering an alternative development option for the site. Subsequently, a public information meeting was hosted by the developer. The developer presented the subject seven-unit townhouse application, along with alternative plans for six small single family lots.

At this time, the application is for Council to consider the subject seven-unit townhouse proposal, and that is what is under consideration in this report.

Applicant: Thomas Tsang Architect Inc.

Owner: Ridge Peak Development Ltd.

Civic Address: 19072 Advent Rd

Property Size: 2,359 m²/25,392 ft² (0.58

acres)

OCP Designation: Medium Density

Residential

OCP Development Permit Area: #9 - Multi-

family Development

Zoning Existing: RS (Large Lot Residential)

Zoning Proposed: RM-6 (Multi-Family

Residential 6)

The property is currently vacant.



There was a previous development application that proposed to rezone the property to permit a nine-unit townhouse project. That application was denied by Council at the February 12, 2019 regular meeting, following a public hearing.

Based on public and Council feedback from the previous application, the key differences between this application and the previous application are:

- Two less units;
- Smaller building footprints;
- Three buildings instead of two (massing broken up);
- Reduction in height for buildings closest to Advent Rd;

- Replacement of some garages with carports;
- Increased play space in the development;
- Reduction in lot coverage from 35% to 26%; and
- Increase to rear yard setback from 3.8 m to 4.5 m.

Relevant Policy, Bylaw or Legislation:

Official Community Plan Bylaw No. 2352, 2007

The property is designated as medium density residential in the current Official Community Plan (OCP). This designation permits medium density residential use generally in the form of townhouses and low rise apartments at a density between 30 to 100 units per net hectare, with encouragement for ground oriented units. The site has been designated for medium density and townhouse residential since at least the 1992 OCP and is not proposed to be changed in the new, draft OCP.

This application complies with both the current and proposed OCP land use designations.

Development Permit Area (DPA) #9 – Multi-Family Development applies to the site and if the site is rezoned, a development permit following the guidelines in DPA #9 will be required prior to any construction of buildings. This type of development permit requires approval from Council for form and character.

Zoning Bylaw No. 2505, 2011

Currently, the property is zoned RS (Large Lot Residential). This zoning permits a single-family dwelling and light agriculture (growing agricultural crops and keeping a small number of livestock).

This application does not comply with the current zoning. A new zone, Multi-Family Residential 6 (RM-6) is proposed.

Analysis:

Project Overview

The proposal is for seven townhouse units consisting of three buildings: two duplex buildings and one triplex building.

One unit contains five bedrooms, one unit contains four bedrooms and the remaining five units all contain three bedrooms. The floor area of the units ranges from 138 m² (1486 ft²) to 148 m² (1590 ft²). All of the units contain below grade basements for storage or recreation area, which adds another 68 m² (738 ft²) to 84 m² (900 ft²) of living space to each of the units. For added adaptability and accessibility, five of the seven units also contain a main level den that can be converted into a bedroom.

Private outdoor patio space is provided for each unit and common outdoor play areas are proposed at several locations throughout the development. A hard-surfaced basketball court is proposed where space is required for fire truck turnaround access.

It is envisioned that this development with its large units and central location will be well-suited for families.

Access and Parking

Access to the property is proposed from Advent Rd. Units 1 to 3 contain a detached double carport, while units 4 to 7 contain an attached single garage. Four additional parallel parking spaces are provided along the west side of the property. This is a total of 14 parking spaces, as required by the City's Zoning Bylaw.

Staff Comments

City Plans and Policies

This application supports the following OCP policies:

Residential

- 4.6.1 a) Multi-family housing is particularly encouraged within the central part of the urban area, including medium to high density multi-family housing located on major roads and within the Town Centre;
- 4.6.1 b) Preference will be given to areas close to public transit routes or stations for higher density residential developments;
- 4.6.2 g) Support smaller, more affordable housing design with a focus on units for single young adults, single seniors and young couples;

It supports the City's Strategic Plan as follows:

- Housing Diversity. Encourage diversity in housing types to foster an inclusive, affordable, multi-generational community.
- Affordability. Promote accessible and affordable transportation, daycare and housing opportunities to help families and businesses thrive.

It also supports objectives and actions in the City's Housing Action Plan:

Objective #1: Create a broader mix of housing types

 Amend zoning bylaws to permit increased density in areas appropriate for rental housing and affordable housing (transition areas, walkable centres, and major roads).

- Support smaller more affordable housing design with a focus on units for single youth, single seniors and young couples.
- Continue to support infill and intensification of older single detached areas as part of incremental redevelopment and community change.

Location

The property is located very close to Hoffman Park and Highland Park Elementary School and is a short walk to shops and services along Harris Rd. It is within 400 m of bus stops on Harris Rd and the Pitt Meadows West Coast Express Station. Harris Rd is part of TransLink's Frequent Transit Network (Figure 4), meaning there is bus service at least every 15 minutes. It is surrounded by Meadowlands Housing Co-op and other nearby multi-family developments. This property is a prime location for higher density development.

Density

Based on the size of the property and the seven units proposed, this equates to a density of 30.2 units per hectare. For comparison, the following are densities of neighbouring developments (see Figure 1):

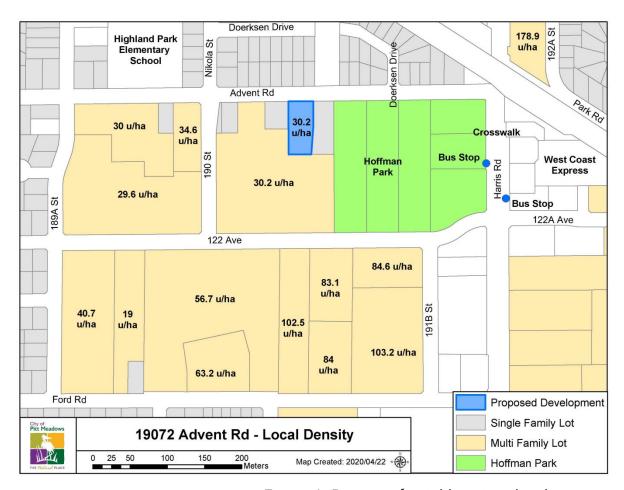


Figure 1: Density of neighbouring developments

The following are densities of some more recent multi-family developments in the City that are located in other neighbourhoods:

Project	Density (units/ha)
Brogden Brown (19095 Mitchell Rd)	44.6
Nature's Walk (19451 Sutton Ave)	47.3
Bonson Rd Townhomes (19696 Hammond Rd)	50
Current Application (19072 Advent Rd)	30.2

This site has been designated for medium-density residential in the OCP since 1992 and development in line with this designation is required to support several other OCP policies, such as concentrating residential development and locating higher density developments close to transit. While this density conforms with the surrounding neighbourhood character and that of nearby multi-family townhouse developments it is

lower than other recent townhouse projects such as Nature's Walk and Brogden Brown. The seven unit proposalis supported for the following reasons:

- The subject site is within walking distance of the West Coast Express and bus lines along Harris Road. People within this area have the option of taking transit if they so choose;
- The subject site is within walking distance of shops and services along Harris Road. Local businesses benefit from more potential customers living close by;
- o The subject site is within walking distance of a school, parks and amenities. Again, more people would have the option of walking rather than driving;
- o The infrastructure (roads, water and sewer) have been built to a standard that can accommodate appartment development at this density;
- o Multi-unit developments tend to provide more affordable homes and options for smaller households.

Traffic and Parking

Advent Rd is a collector road, constructed to a standard that can accommodate multi-family development at the proposed density. This is a relatively small development with only seven units and, therefore, the amount of additional traffic generated is not expected to have a significant impact on the road system. This stretch of Advent Rd is also a dead-end with no vehicle access to Harris Rd so the amount of through traffic is minimal.

The development includes 14 parking spaces, as required by the Zoning Bylaw, plus a basement storage room in each unit to help reduce the likelihood that the garages will not be used for parking. Four of the units are proposed with single garages and the remainder with double carports, plus an additional four surface parking spaces are proposed. The property is also less than a 400 m walking distance to bus stops on Harris Rd and the West Coast Express station for those that may choose to use transit instead of personal vehicles. Staff recommend requirement of a covenant to prevent conversion of garages into living space to ensure that garage space remains available for parking. The developer advised that additional parking spaces could be offered, but at the expense of outdoor play area. As the project proposes parking spaces in accordance with the Zoning Bylaw, and measures to discourage use of parking spaces for storage (i.e., carports instead of garages and covenants to prevent conversion), the loss of outdoor play area for additional parking spaces is not recommended by staff.

Height

Units 1 to 4 are closest to Advent Rd and are proposed as two storeys above grade at 6.5 m (21' 4"). This is reduced from the previous application which proposed 8.4 m in height. Units 5 to 7 are proposed as two and a half storeys and 7.5 m in height. These

heights are well within the typical height limits for single family and townhouse developments. The current RS zoning and the R-1 zoning on the single family dwellings across the street have a height limit of 9.0 m, while other townhouse developments are permitted to be up to 10 m in height. The applicant has provided a plan showing photos and height calculations of neighbouring houses for comparison (see last page of Attachment E).

Neighbourhood Character

The unit fronting onto Advent Rd has been revised to include a more articulated appearance with a front porch and the height of the buildings has been reduced. The proposed design incorporates contemporary elements of pitched rooflines, gables, natural siding and roofing materials similar to surrounding buildings and massing broken up into multiple buildings and planes. The colour palette is designed to compliment the surrounding neighbourhood and Hoffman Park setting (see Attachment F).

Design details would be confirmed at development permit stage and reviewed by staff, Council and the City's Advisory Design Panel before a development permit will be issued.

Additionally, the site is adjacent to a townhouse development and the existing single family dwelling properties to the immediate west and east are also designated similarly for future medium-density residential, should they ever be redeveloped. While the neighbouring Meadowlands Housing Co-op (built in the early 1980's) is currently single storey and contains 64 units, its current zoning and OCP designation would support up to 211 apartment units.

Community Amenity Contribution

Following Council Policy C091, the developer has offered \$4,000 per unit for a total of \$28,000 as a community amenity contribution for this project.

Trees

An arborist report was provided. It identifies five trees to be removed out of 17 trees on the property. Two of the trees are dead, one is declined beyond expectation of recovery and the other two trees to be removed are located in conflict with construction. The three large Douglas Fir trees closest to Advent Rd will be retained. The arborist report recommends some protection measures for the trees to be retained; staff recommend that a tree protection covenant be registered on title as a condition of rezoning. As part of a future development permit if this property is rezoned, replacement trees will be required.

If the property is instead redeveloped with a new single family house that is compliant with its existing zoning, the City would not be in a position to restrict or control tree removal.

Adjacent Property

Ideally, staff would prefer to see this property consolidated with the neighbouring properties at 19080 and 19056 Advent Rd to permit a larger and more cohesive development. However, the applicant has indicated that a partnership with the adjacent property owners is not viable at this time.

Notice on Title

The property previously contained a single-family dwelling that had a clandestine lab discovered in it a few years ago and consequently a Community Charter Section 57 Notice on Title was registered against the property. Staff recommend that this Notice on Title be required to be removed prior to any final approval of rezoning of this property. The process to remove this Notice on Title will involve application to the City and approval from a Building Inspector.

Development Information Meeting

A virtual information meeting was hosted by the developer on January 6, 2021 (see Attachment G). Nine members of the public attended, plus staff. Several pieces of correspondence were received by the developer and the City following the meeting (see Attachment H).

At the meeting, the developer presented an alternative development option consisting of six small, single-family lots that would be likely developed as a bare land strata (see Attachment I). Each unit would be approximately 781 ft² on the main level plus a double garage and an additional 611 ft² on the second level. These units would be two storeys with a proposed height of 6.53 m.

The developer indicated that the homes in the six-lot option would be more expensive than the homes in the subject application (seven townhouses).

Alternative Development Option

These alternative plans have not been formally submitted to staff as a new application and have not been fully reviewed by staff. In order to maintain compliance with the medium density residential OCP land use designation, a minimum of seven units is required for this property, which is what this application is proposing. Any number of units less than seven would also require an OCP amendment.

While the developer has expressed a willingness to explore a six unit option, no formal application for this option was submitted and staff have an obligation to process the subject application that was submitted.

The OCP is a long term guiding vision for the community and is typically only considered for amendment where the resulting community benefit is obvious or the result of some external change or forces. The difference between the two options for this property is

only one unit and staff do not support amending the OCP and altering the long standing land use designations of the area. Single family units are likely to be more expensive than townhouse units and therefore may be difficult to attract young families. Single family dwellings do not increase housing options in the City.

The height difference in the two development options is not substantial. Four of the townhouse units in the subject application are proposed at 6.5 m, the same as the six single-family homes in the alternative development option. The other three units are proposed at 7.5 m. As noted above, standard single family dwellings in the City's residential zones are permitted 9 m in height and townhouses typically 10 m.

Currently, the properties at 19022, 19032, 19056 and 19080 are all designated as medium-density residential with potential for future townhouse or apartment development. If the subject property is developed with a few single family dwellings, it will be at odds with future development potential of the surrounding properties. When/if the neighbouring parcels develop in accordance with their medium-density designation, even if many years in the future, the new residents of a single family project may be opposed to those developments, just as some of the surrounding single family residents are opposed to this townhouse project.



If the subject property were re-designated to low-density residential in the OCP, then it follows that 19022, 19056 and 19080 should also be examined for a low-density residential designation.

Figure 3: Surrounding Parcels

Recommendation

This project does not conform to any of the existing residential zones in the City's Zoning Bylaw and therefore a new residential zone, RM-6, is proposed. Under the proposed RM-6 zone, the total floor area permitted for the site would be 1,059 m² (11,395 ft²) and the maximum height permitted would be 8 m, which is lower than the adjacent 9 m height limit of the neighbouring single family dwelling lots. The floor area calculation does not include garage or basement area.

A number of surrounding neighbours have voiced opposition to this project, although there has also been some support received as well. It is recognized that changes to a neighbourhood can be difficult, however redevelopment and renewal are part of the City's growth and maturation over time. This particular project is a means of incremental change on a relatively small scale with only seven units that still reflects the City's small-town feel.

Planners take a long term vision of the City and its growth and development. This site has long been identified as having development potential for medium density residential and is in an excellent location for townhouses. The site is within walking distance to a West Coast Express station, shops and services, a large park, an elementary school, multiple daycare centres, and bus stops on Harris Rd. It meets the guidelines in the current and proposed OCP for its designation of medium density residential.

Additionally, the proposal is compliant with the City's Strategic Plan and Housing Action Plan policies, including: increasing housing affordability, particularly for young families and seniors; increasing housing diversity and building more ground-oriented townhouses; providing density close to transit; building a compact, complete community; and, providing density that increases the viability of the central business area.

The following conditions of approval are recommended, should the project proceed to third reading:

- Development permit approval by Council;
- Registration of Section 219 covenant requiring tree retention and protection in accordance with arborist report;
- Registration of a Section 219 covenant preventing the conversion of garage space to living area;
- Raptor and heron nest survey/report;
- Removal of existing bylaw contravention notice on title; and
- Payment of community amenity contribution.

Staff recommend that a public hearing be scheduled for an upcoming Council meeting.

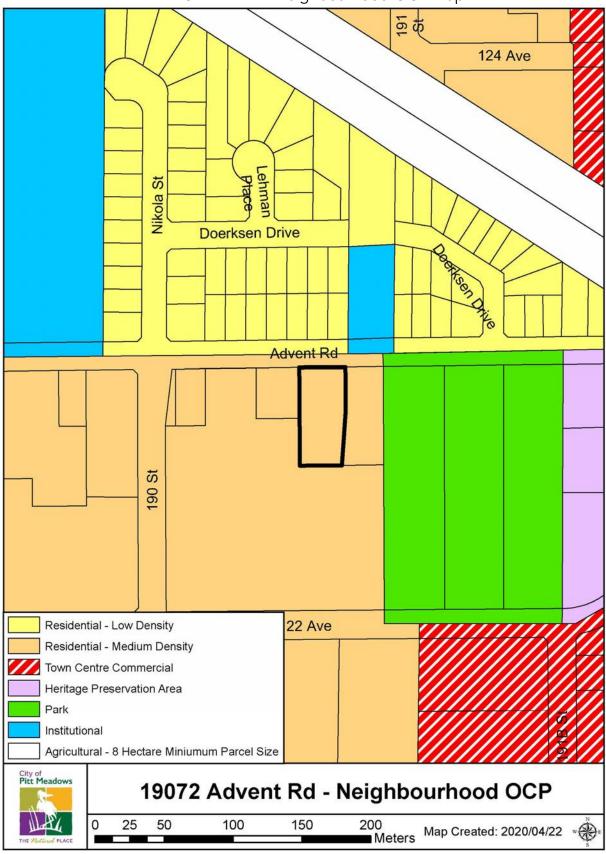
COUNCIL STRATEGIC PLAN ALIGNMENT □ Principled Governance □ Balanced Economic Prosperity □ Corporate Excellence □ Community Spirit & Wellbeing □ Transportation & Infrastructure Initiatives □ Not Applicable Housing Diversity. Encourage diversity in housing types to foster an inclusive, affordable, multi-generational community. Affordability. Promote accessible and affordable transportation, daycare and housing opportunities to help families and businesses thrive. FINANCIAL IMPLICATIONS □ None □ Budget Previously Approved □ Referral to Business Planning □ Other

<u>PUBLIC PAR</u>	<u>TICIPATION</u>			
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Comment(s):	:			
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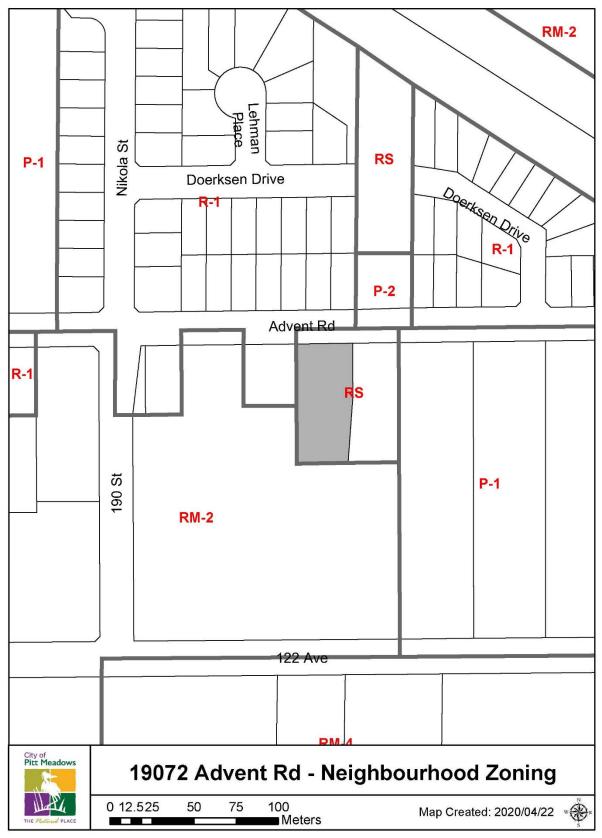
ATTACHMENT(S):

- A. Neighbourhood OCP Map
- B. Neighbourhood Zoning Map
- C. Aerial Photo Map
- D. Letter of Intent
- E. Proposed Development Plans
- F. Proposed Material and Colour Board
- G. Developer Information Meeting Summary
- H. Public Correspondence
- I. Alternative Development Plans
- J. Zoning Amendment Bylaw No. 2857, 2020

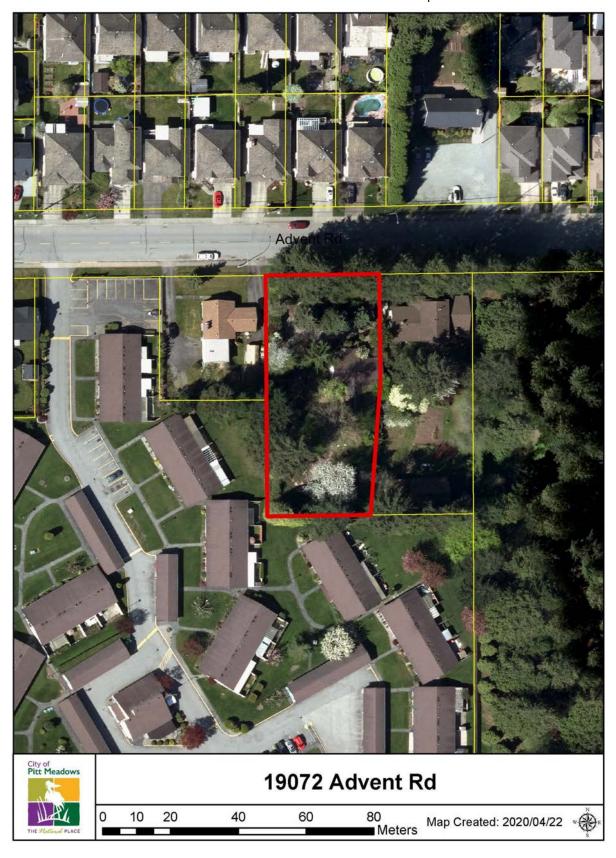
ATTACHMENT A: Neighbourhood OCP Map



ATTACHMENT B: Neighbourhood Zoning Map



ATTACHMENT C: Aerial Photo Map



PITT MEADOWS DESIGN RATIONALE FOR PROPOSAL DATED March 23, 2020

Introduction

We have received comments from the public hearing meeting held on February 12, 2019. Major comments from the council members and local residents pertain to the density, the size and the shape of the development, the open spaces, as well as the number of trees proposed to be cut to allow for the proposed development. Other related issues are the heights of the buildings and the potential parking problem that may arise.

We have re-examined the development proposal and, in this current proposal, we have further reduced the number of units proposed from 9 to 7, which is the minimum number of units allowed under the existing Official Community Plan for Residential – Medium Density zone with the site area of 25,392.00 s.f. (i.e. 31 units per hectare). In addition, we have further reduced the footprints of the building groups. In the original proposal, two building groups were proposed with the long dimension of the biggest building aligned to the east side yard. In the new proposal, we have now further broken up the long building into two separate groups as a means to reduce the building mass and to allow more open spaces in the middle for the overall development.

Unit Design/ Unit Grouping

For the unit layout now proposed, a more squarish but efficient, compact design is employed to reduce the impact of built form on this sensitive, highly treed site, which is only 100' from Hoffman Park to the east. Two groups of duplex housing are proposed to be oriented along the incoming access road with the third group comprised of a triplex located at the rear of the site. Specifically, we have positioned the footprints of these two groups of duplexes to the approximate locations of the existing house and the existing attached garage, thus minimizing disturbance to the existing mature trees. Utilizing this compact module allows each unit to adjust responsively to specific site conditions and to take maximum advantage of orientation. The front unit, Unit 1, has a front entrance oriented toward the street. The addition of a front porch to this unit will enhance the street presence for the development along Advent Road. Unit 4 is oriented toward the end of the cul-de-sac to form a sub-group with the triplex comprised of Unit 5, 6 & 7. All units of this sub-group have attached garages.

Building Height / Massing

In addition to the compact design that results in the reduction of the buildings' footprints, the height of the two duplex buildings are further reduced by setting the spring line at 5'-8" above the second floor. Building 3, with a higher building height, is located at the back of the site. The resulting maximum height of Building 1 & 2 will be 21'-1"; the maximum heights for Building 3 will be 24'-7 for the central unit with building heights lowered to 22'-8" for the east unit and 22'-11" for the west unit. The heights of the proposed development are congruent with the building heights of the single family houses across the street, which average out to 22'-8".

Unit 1 to 3, located at a dominant location of the site, have carports instead of garages. This again helps to reduce the overall visual mass of Building 1 & 2. Each carport roof will be supported on two columns with cantilevered beams to again minimize site disturbance to the existing mature trees.

Site Coverage/ Open Spaces

The above measures working in concert bring about a more compact scheme, resulting in a site coverage of 23.23 % (buildings) and 25.93% (buildings and carports), which better harmonizes the proposed development with the single family houses across the street and the house adjoining the site. The existing lot is zoned RS-Large Lot Residential, which allows a site coverage of 30% maximum.

The revised proposal allows more open space to be present, permitting development to occur further away from the three mature trees at the front of the site. Green spaces with landscaping are proposed at conspicuous locations- the site entry and the centre of the development, which would be easily accessible by residents.

A fair size private outdoor patio is provided for each unit, either at the front or at the back. In addition, all duplex units will have private porches at their entries, while for Unit 5, 6 & 7, additional private outdoor spaces are provided by second floor balconies and roof decks at the attic floor level.

In addition to the various site open green spaces, which are designated to be soft landscaping areas for outdoor recreation and play, the hammerhead for fire truck also serves as a basket ball court. The internal access road and basketball court are finished with permeable brick pavers, which are suitable for outdoor lively activities for children. The proposal aims to minimize the disturbance to the existing mature trees and to maintain a park-like setting for the development, which will enhance both the value of the complex and the neighbourhood in the long run.

Relationship to Future Development & Hoffman Park

A future site layout based on a looped access road connecting the subject property with the adjacent property to the east is possible. However, it is our belief that the layout of the access road as currently proposed is self-sufficient unto itself by providing access to this small scale development proposed. We contend that a pedestrian walkway through the site to link any future development to the west of the subject site with Hoffman Park is highly possible.

The site currently has 17 trees, most of which are considered mature, in particular, the three along the front property line. A few trees have been removed during demolition and site clean-up. For example, a large tree near the south property line (Tree #243) was removed to allow more sunlight to penetrate deeper into this narrow lot and to allow more units to be located at the back. Three unhealthy trees near the driveway entry and a few small trees, which are in conflict with Building 1 & 2 were also removed. New trees and shrubs will be planted at appropriate locations to enhance privacy and outdoor recreational areas of the proposed development.

Design for Accessibility

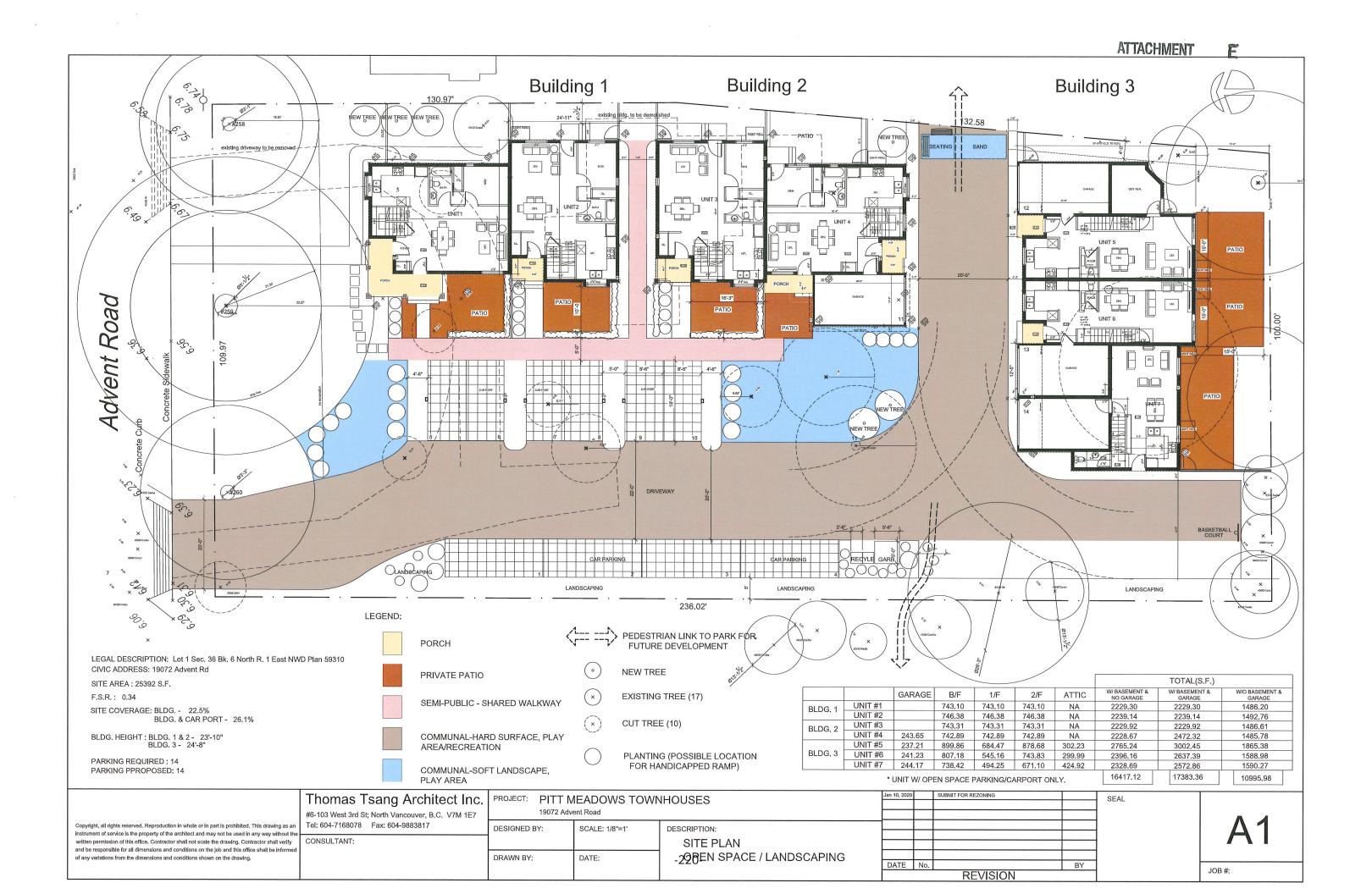
The design of the majority of the units could be easily adapted for seniors or for persons with disabilities. Unit 7 has its main floor at grade level, while the rest of the units have the first floor level set at 1' above their adjoining grade levels to allow for recreational or storage rooms. A physical ramp could easily be constructed along one side of the front patio for some units to provide handicapped access, if needed. For units with an attached garage, the two steps between the entry lobby and main floor could easily be overcome with the installation of an interior chair lift. All units have a bathroom or powder room on the main floor, which complies with building codes regarding enhanced handicapped access. Five of the seven units will have a den or bedroom on the main floor, which could easily be used as sleeping area for the residents who may have problems climbing up to the bedrooms on the second floor. Handicapped access from the carports to the entries of the two duplex buildings could easily be improvised with a physical ramp. This feature enhances the adaptability of the unit design to suit the future needs of the residents.

Affordability

The unit sizes of the scheme are significantly small as compared to the last scheme, potentially making them more affordable. The average floor area for the units is 1500 sq.ft. to 1600 sq.ft. in the current scheme. We feel this revised scheme will provide for a number of design choices suitable for a wide range of residents, including families with children and seniors. By minimizing the disturbance to existing mature trees in the site, the proposed development achieves a balance between providing additional housing to the neighbourhood and tying in with both the natural environment and the existing low density single-family neighbourhood of the area.

Thomas Tsang Architect Inc.

July 6, 2020





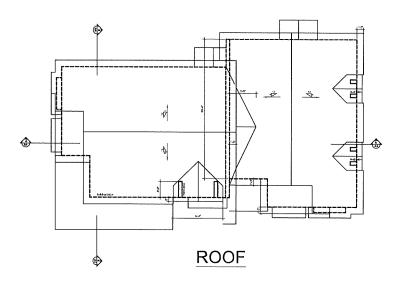
SECTION ACROSS SITE WEST

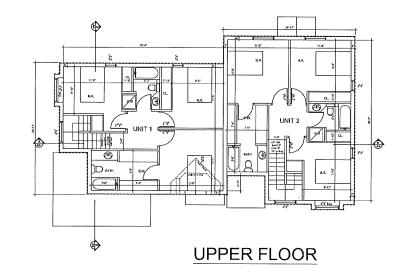
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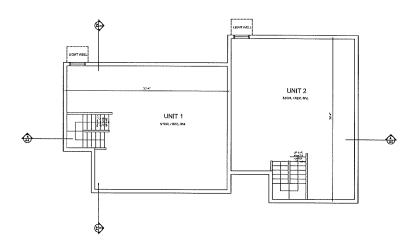


19072 Advent Road #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7 A₁b Tel: 604-7168078 Fax: 604-9883817 DESIGNED BY: SCALE: 1/8"=1" DESCRIPTION: instrument of service is the property of the architect and may not be used in any way without to written permission of this office. Contractor shall not scale the drawing. Contractor shall verify CONSULTANT: SECTION ACROSS SITE and be responsible for all dimensions and conditions on the job and this office shall be informed DRAWN BY: of any variations from the dimensions and conditions shown on the drawing. DATE: -222-JAN - 06 - 2020 JOB#: **REVISION**

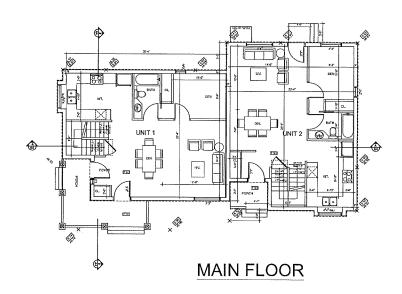








BASEMENT



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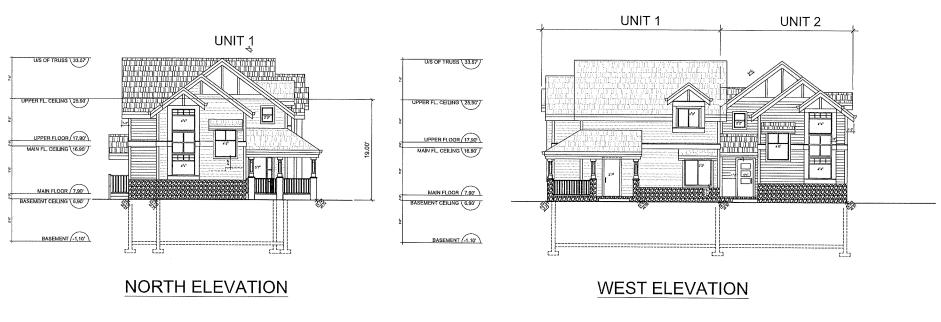
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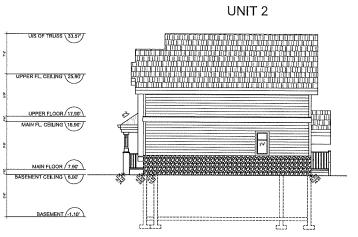
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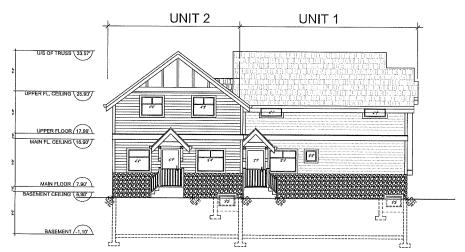
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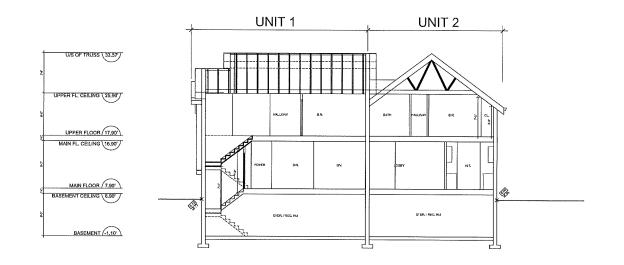






EAST ELEVATION

	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7	PROJECT: PITT N 19072 Adv	MEADOWS TOWN	NHOUSES	Jan 10, 2020	SUBMIT FOR REZONING		SEAL	
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of any variations from the dimensions and conditions shown on the drawing.		DRAWN BY:	DATE: JAN - 06 - 2020	-224-	DATE I	No. REVISION	BY		JOB#:



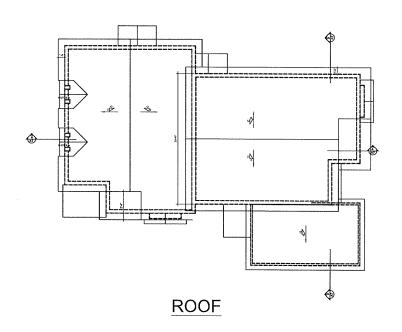
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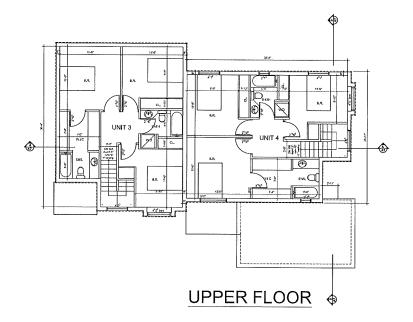
UNIT 1

Section A-A

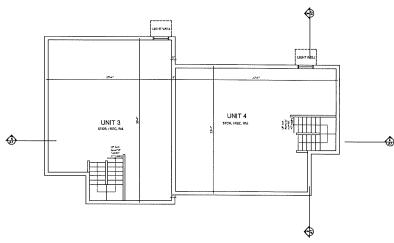
Section B-B

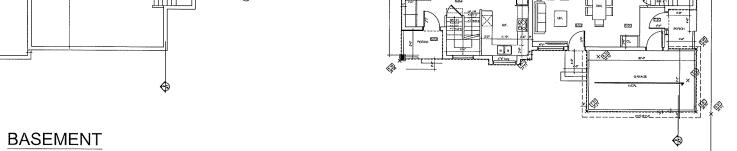
	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7		MEADOWS TOW vent Road	NHOUSES	Jan 10, 2020	SUBMIT FOR REZONING	SEAL	
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of any variations from the dimensions and conditions shown on the drawing.		DRAWN BY:	DATE: JAN - 06 - 2020	-225-	DATE No	REVISION	Y	JOB #:











MAIN FLOOR

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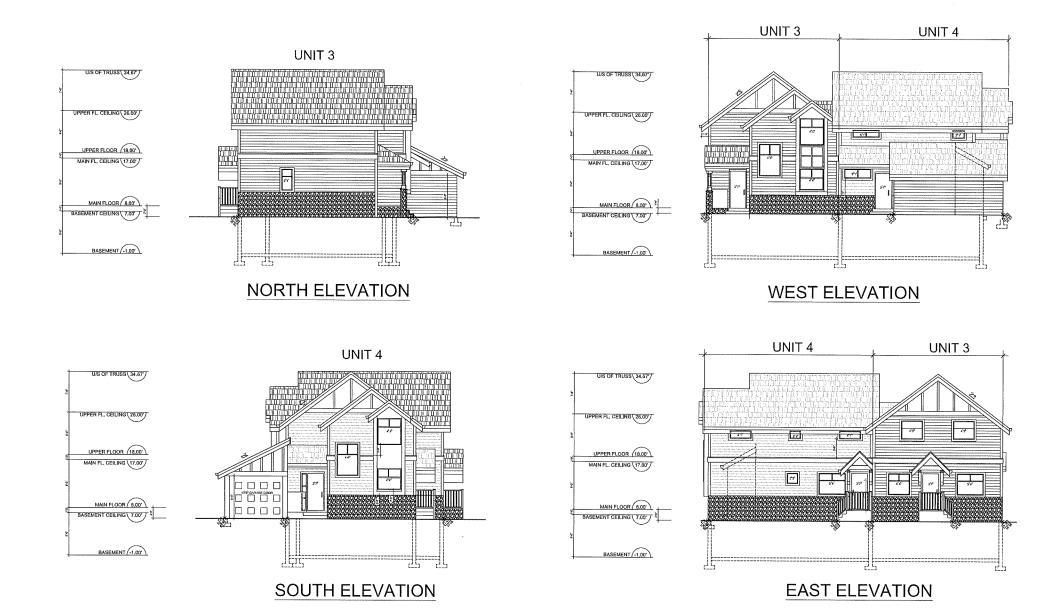
Thomas I	sang Architect Inc
#6-103 West 3rd St	; North Vancouver, B.C. V7M 1E7
ГеІ: 604-7168078	Fax; 604-9883817
CONSULTANT:	

٥.	PROJECT: PITT MEADOWS TOWNHOUSES 19072 Advent Road							
	DESIGNED BY:	SCALE: 1/8"=1'	DESCRIPTION:					
			BUILDING 2 - FLOOR PLANS					
	DRAWN BY:	DATE:	-226-					

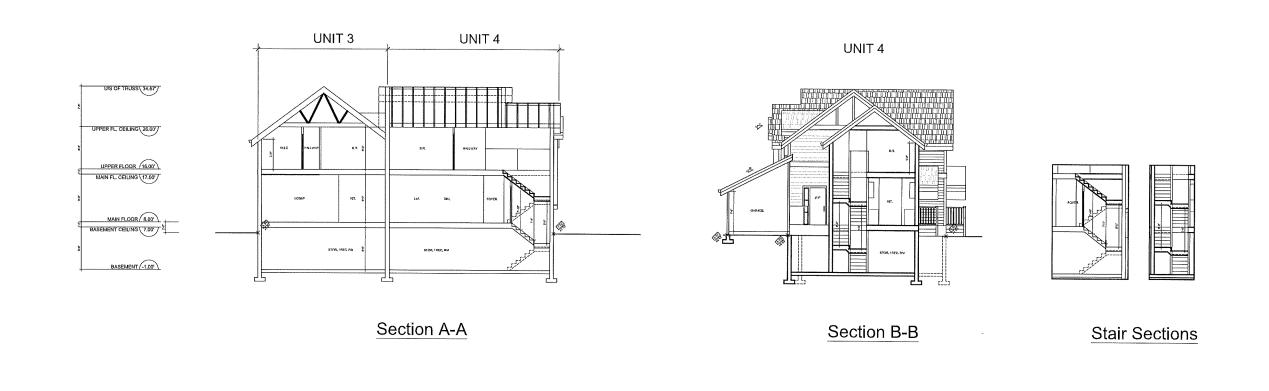
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Jan 10, 2020	<u> </u>	SUBMIT FOR REZONING	
			
 			
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A5

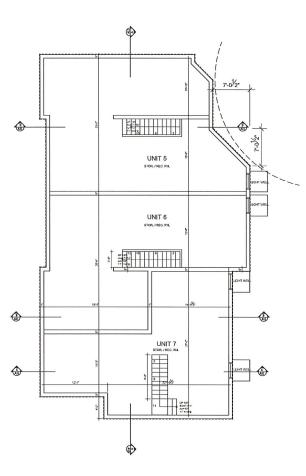


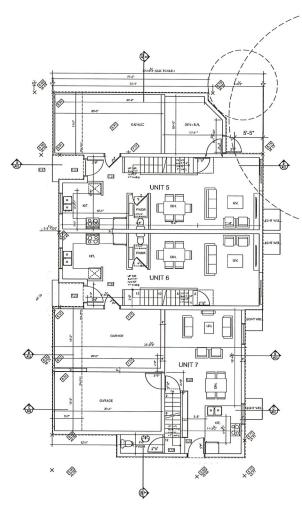
	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7	PROJECT: PITT N 19072 Adv		NHOUSES	Jan 10, 2020	SUBMIT FOR REZONING		SEAL	
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and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.	· -	DRAWN BY:	DATE;	BUILDING 2 - ELEVATIONS -227-	DATE No. BY	-	7 (0		
			JAN - 06 - 2020		DATE	REVISION	J BY	†	JOB#:

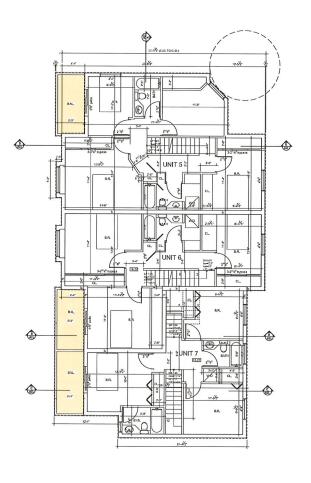


Thomas Tsang Architect Inc. PROJECT: PITT MEADOWS TOWNHOUSES SEAL 19072 Advent Road #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7 Tel: 604-7168078 Fax: 604-9883817 Copyright, all rights reserved. Reproduction in whole or in part is prohibited. This drawing as a DESIGNED BY: SCALE: 1/8"=1" instrument of service is the property of the architect and may not be used in any way without the written permission of this office. Contractor shall not scale the drawing. Contractor shall verify CONSULTANT: **BUILDING 2 - SECTIONS** and be responsible for all dimensions and conditions on the job and this office shall be inform of any variations from the dimensions and conditions shown on the drawing. DRAWN BY: -228-DATE No. JAN - 06 - 2020 BY REVISION JOB #:









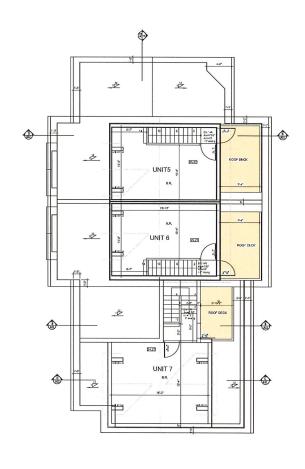
BASEMENT

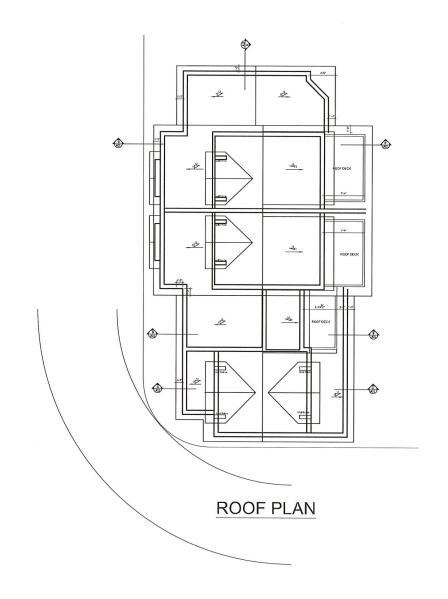
FIRST FLOOR PLAN

SECOND FLOOR PLAN

	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7	PROJECT: PITT N 19072 Adv	MEADOWS TOWN vent Road	NHOUSES	Jan 10, 2020	SUBMIT FOR REZONING	SEAL	A 0
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and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawing.		DRAWN BY:	DATE: JAN - 06 - 2020	-229-	DATE N	o. BY		JOB#:

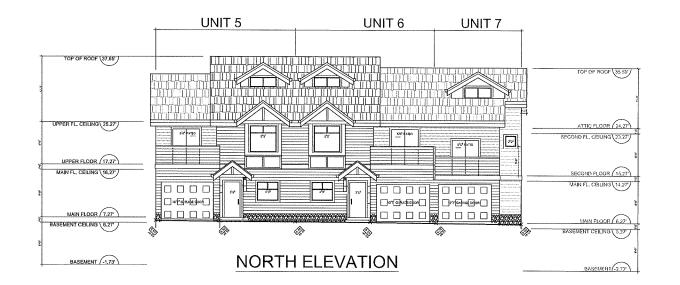


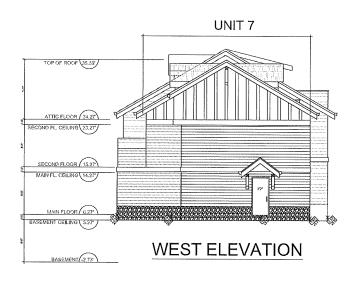


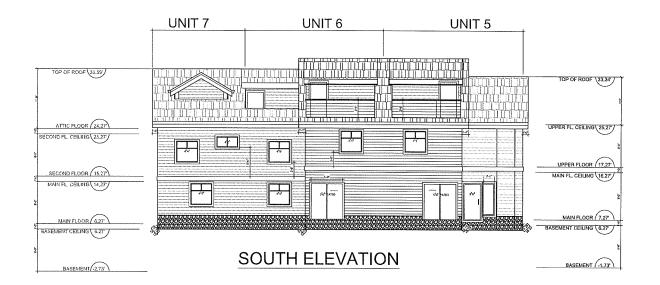


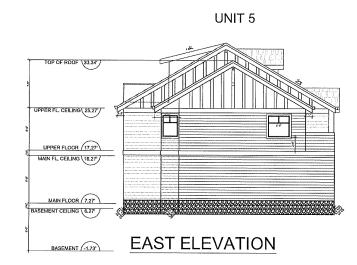
ATTIC FLOOR PLAN

	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7	PROJECT: PITT N 19072 Adv		NHOUSES		Jan 10, 2020	SUBMIT FOR REZONING		SEAL	_
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and be responsible for all dimensions and conditions on the job and this office shall be informed of any variations from the dimensions and conditions shown on the drawling.		DRAWN BY:	DATE: JAN - 06 - 2020	-230- ROOF PLAN	BY	JOB#:	JOB#:			

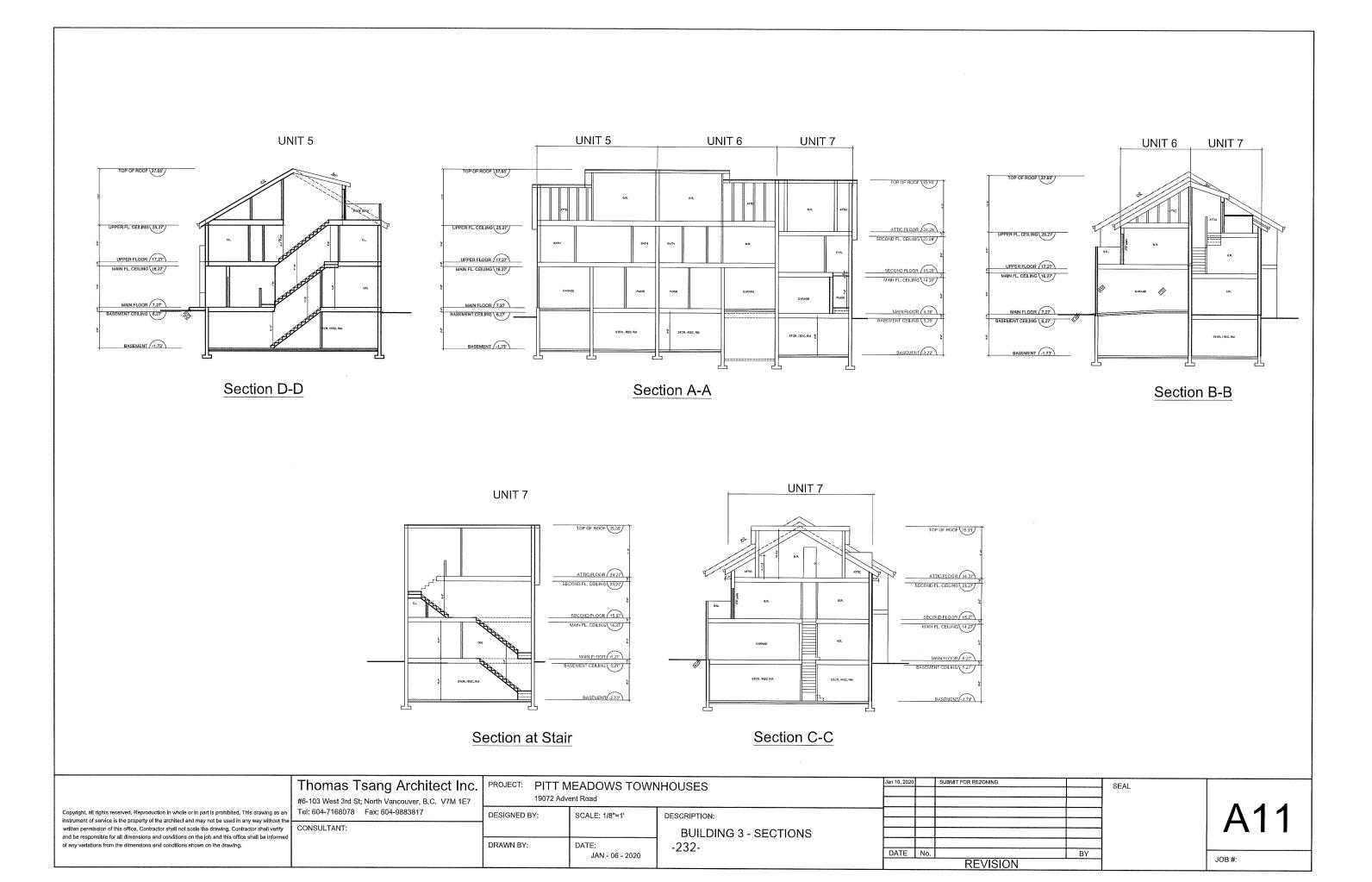


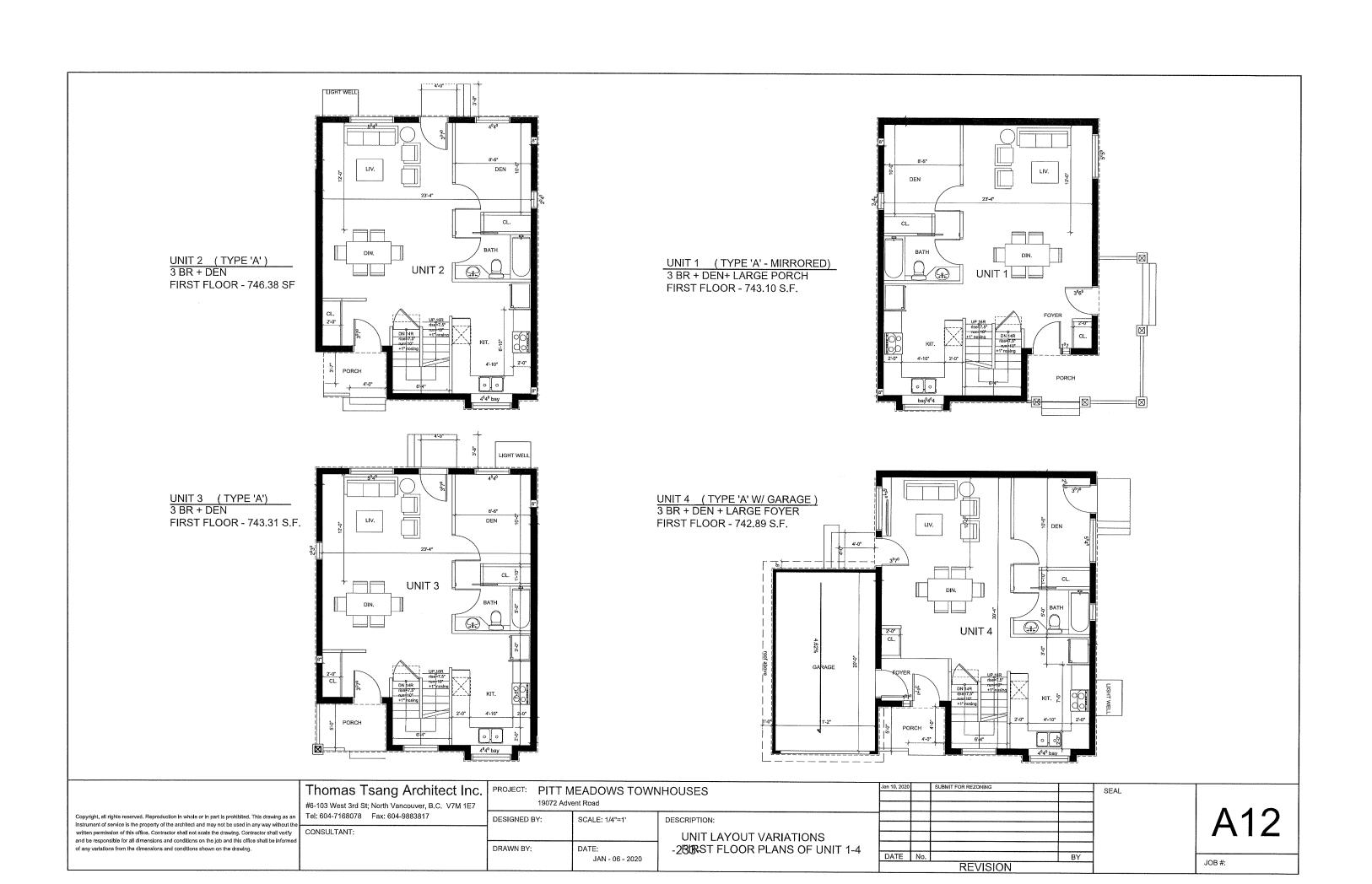


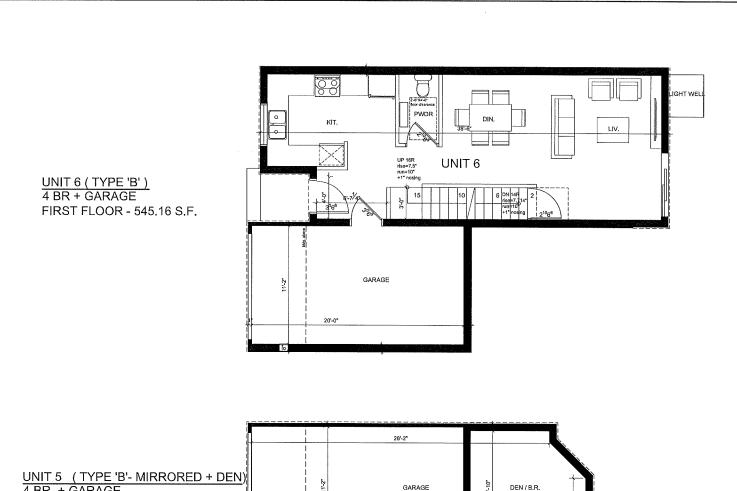


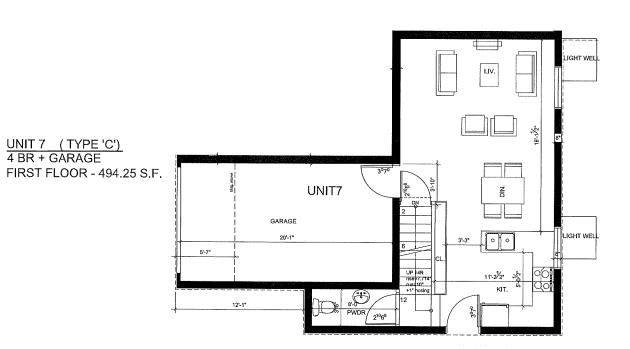


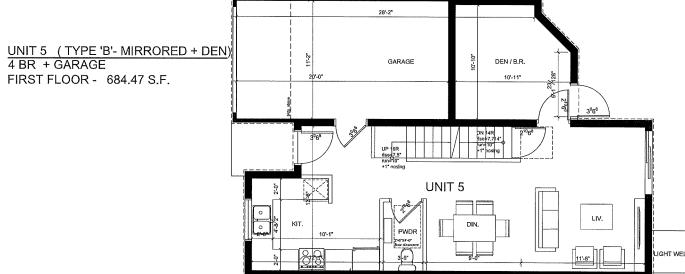
	Thomas Tsang Architect Inc. #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7		MEADOWS TOWN	NHOUSES	Jan 10, 2020	SUBMIT FOR REZONING		SEAL	
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and be responsible to all dimensions and conditions on the job and this direct shall be informed of any variations from the dimensions and conditions shown on the drawing.		DRAWN BY:	DATE: JAN - 06 - 2020	-231-			JOB#:		











Thomas Tsang Architect Inc. SUBMIT FOR REZONING Jan 10, 2020 PROJECT: PITT MEADOWS TOWNHOUSES SEAL 19072 Advent Road #6-103 West 3rd St; North Vancouver, B.C. V7M 1E7 Copyright, all rights reserved. Reproduction in whole or in part is prohibited. This drawing as an Tel: 604-7168078 Fax: 604-9883817 SCALE: 1/4"=1" DESIGNED BY: instrument of service is the property of the architect and may not be used in any way without the CONSULTANT: written permission of this office, Contractor shall not scale the drawing, Contractor shall verify UNIT LAYOUT VARIATIONS
-2848ST FLOOR PLANS OF UNIT 5-7 and be responsible for all dimensions and conditions on the job and this office shall be inform DRAWN BY: of any variations from the dimensions and conditions shown on the drawing. DATE: DATE No. JAN - 06 - 2020 BY REVISION













NORTH ELEVATION (UNIT 5-7)







NORTH ELEVATION (UNIT 1)

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Thomas	I sang Architect Inc
	St; North Vancouver, B.C. V7M 1E7 Fax: 604-9883817
CONSULTANT:	

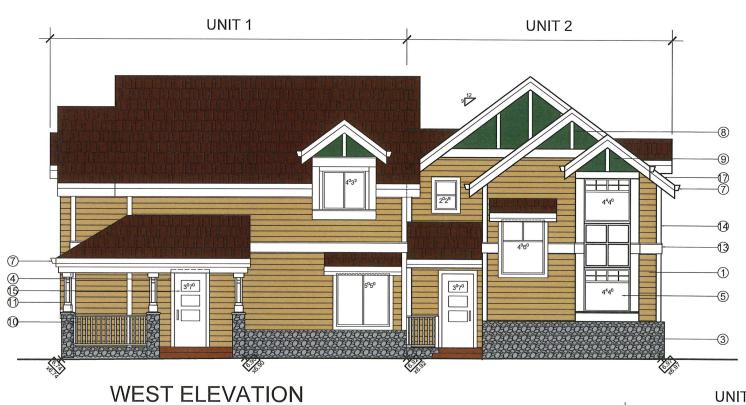
_			
	PROJECT: PITT N 19072 Adve	IEADOWS TOWN ent Road	NHOUSES
	DESIGNED BY:	SCALE: 1/8"=1'	DESCRIPTION:
			NEIGHBORING HOMES
	DRAWN BY:	DATE:	-235-

JAN - 06 - 2020

Jan 10, 2020 SUBMIT FOR REZONING SEAL					
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A14

JOB #:



EXTERIOR FINISH (TYPICAL)

- 1 HARDIE HORIZONTAL LAP SIDING W/ 5" MAX. EXPOSURE
- WOOD HANDRAIL AND GUARDRAIL W/ MIN. 2" x 2" WOOD PICKET RAILING FOR PORCH AND STAIR ASPHALT SHINGLE ROOF
- (3) 4" NATURAL STONES
- 4) 2 X 4 TRIM FOR WINDOW & DOOR
- 5 DOUBLE GLAZED VINYL WINDOW
- 6 2 X 12 FASCIA c/w 2X3TRIM
- 7 ALUMINUM GUTTER ON 2X10 WD FASCIA
- (8) 2x4 HARDIE TRIM 9 HARDIE BOARD
- 1 8 X 8 WOOD COLUMN 2 X 6 WOOD TOP RAIL
- (3) 2 X 10 WOOD TRIM BOARD
- 2 X 6 CORNER TRIM
- 15 WOOD PANEL SOLD CORE DOOR
- 6 X 6 WOOD BRACKET
- (7) 2 X 12 FASCIA c/w 2X4 TRIM



DUROID SHINGLES



EXTERIOR WALLS



EXTERIOR WALLS GABLE ENDS, GARAGE DOOR SHERWIN-WILLIAMS - GARDEN SPOT SW 6432



STAIRS / BALCONY



STONE FINISH



FLASHING / FASCIA / GUARD / WD COLUMN / WINDOW & DOOR TRIMS HANDRAILS & BALUSTRADES WALL & GABLE TRIM BOARDS **BAY WINDOWS**

SHERWIN-WILLIAMS - HIGH REFLECTIVE WHITE SW 7757



NORTH ELEVATION

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Thomas Tsang Architect Inc. #104 -130 Lonsdale Ave; North Van;, B.C. V7M 2E8 Tel: 604-7168078 Email: ttsangarch@hotmail.com CONSULTANT:

19072 Advent Road DESIGNED BY: SCALE: 1/4"=1' DRAWN BY: DATE: SEP - 08 - 2020

PROJECT: PITT MEADOWS TOWNHOUSES

DESCRIPTION: MATERIALS & COLOURS -236-

SUBMIT FOR REZONING Jan 10, 2020 SEAL DATE No. BY REVISION

A16

JOB #:

Tanya Barr

From: Ridge Peak Development <ridgepeakltd@gmail.com>

Sent: Monday, January 18, 2021 10:23 AM

To: Allison Dominelli

Subject: 19072 Advent Rd Development Meeting Summary

Attachments: GMT20210107-031329_Developmen.txt; Gmail - Development 19072 Advent Rd.pdf;

Gmail - Advent Road.pdf; Gmail - 19072 Rezoning.pdf; Gmail - Rezoning application 3360-20-2020-01.pdf; Gmail - Development meeting 19072 Advent Road.pdf; Gmail - Rezoning application 3360-20-2020-01 of 19072 Advent Road, Pitt Meadows.pdf;

Gmail - 19072 Rezoning ApplicationDevelopment.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Allison,

Thank you for joining the development meeting on January 6, 2021. Here is the summary:

A total of 10 people attended the meeting throughout the 2 hours:

Allison Dominielli Cristina Culpo Hamill Kathie's iPad

Luc Mortier

Ransom

Rob's iPhone

Dave Miyashita

Jav

Sharon Ransom

We received a total of 7 comments from the public in emails, of which 5 support the six lot development and 2 support the seven unit townhouse development. We also received 1 comment in the Zoom meeting chat for the support of six lots. See the attached comments. I will forward any further comments we receive.

What is the next step for us in order to proceed with this application? And when can this project be presented to the council again? Would the January 26th council meeting be possible?

Thanks, Narinder Grewal Ridge Peak Development

Tanya Hupka

From: Kerrie Dykeman

Sent: Tuesday, January 12, 2021 8:10 AM

To: Alex Wallace

Subject: FW: 19072 Advent Road Rezoning Application 3360-20-2020-01

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410

----Original Message-----

From: Daryl Ransom

Sent: Monday, January 11, 2021 11:46 AM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: 19072 Advent Road Rezoning Application 3360-20-2020-01

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Good Morning Council,

Based on two proposals set forth in the January 6th meeting with Ridge Peak Development. I wanted to voice my opinion that the second option of six single family homes is much better suited for the neighbourhood. I am in favour of having the land rezoned for the purpose of building six single family homes.

Thank you, Daryl From: Kerrie Dykeman
To: Alex Wallace

Subject: FW: Development at 19072 Advent
Date: Tuesday, January 12, 2021 8:08:27 AM

Attachments: <u>image001.jpg</u>

. . . another . . .

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410



From: Denis Berube

Sent: Sunday, January 10, 2021 1:39 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: Development at 19072 Advent

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Council

I appreciated the fact that Council turned down the development that was proposed on that property a few years ago which would have created too much density and parking issues on Advent specially considering that some Westcoast express users also use that street for parking.

The recent proposal for 6 ranchers with a loft is an alternative I can support. I suspect such units would have a master bedroom on the main floor which is very attractive for seniors that want to move out of a big house to a smaller dwelling.

Respectfully submitted Denis Bérubé Pitt Meadows From: Alex Wallace
To: Allison Dominelli

Subject: FW: 19072 Advent Road Development

Date: Thursday, January 07, 2021 10:49:37 AM

Alex Wallace | Manager of Community Development City of Pitt Meadows 12007 Harris Road, Pitt Meadows, BC V3Y 2B5 604.460.6726 pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meeting

Think about the environment before printing this email.

----Original Message----

From: Kerrie Dykeman < KDykeman@pittmeadows.ca>

Sent: Thursday, January 07, 2021 9:42 AM To: Alex Wallace <awallace@pittmeadows.ca> Subject: FW: 19072 Advent Road Development

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410

----Original Message-----

From: Elaine De Lange

Sent: Wednesday, January 06, 2021 4:53 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: 19072 Advent Road Development

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Dear Council

I support 6 single houses in this development.

Sent from my iPhone



19072 Rezoning

1 message

Sat, Jan 16, 2021 at 4:17 PM

Heather W
To: ridgepeakltd@gmail.com

Hi,

I support the 6 lot development at 19072 advent rd.

Heather 19032 Advent Rd From: Alex Wallace
To: Allison Dominelli

Subject: FW: development at 19072 advent rd pitt meadows

Date: Tuesday, January 12, 2021 7:02:04 PM

Attachments: <u>image001.jpg</u>

image002.jpg

Alex Wallace | Manager of Community Development City of Pitt Meadows

12007 Harris Road, Pitt Meadows, BC V3Y 2B5 604.460.6726

pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meeting



Think about the environment before printing this email.

From: Kerrie Dykeman < KDykeman@pittmeadows.ca>

Sent: Tuesday, January 12, 2021 4:39 PM **To:** Alex Wallace awallace@pittmeadows.ca

Subject: FW: development at 19072 advent rd pitt meadows

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410



From: John Fonseca

Sent: Tuesday, January 12, 2021 4:39 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: development at 19072 advent rd pitt meadows

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ideally it should remain single homes but 6 family homes would be preferable to 7



Advent Road

1 message

Jay Mohammad

Sun, Jan 17, 2021 at 11:27 AM

To: ridgepeakltd@gmail.com

Hello,

Thank you for listening to the community and updating the townhouse development to 7 Units. I like this proposal much better and can support it.

Is there a timeline on when the project is expected to start construction?

- Jay

From: Alex Wallace
To: Allison Dominelli

Subject: FW: Meeting on January 6 - 19072 Advent Road Development Update

Date: Thursday, January 07, 2021 1:35:43 PM

Attachments: <u>image001.jpg</u>

image002.jpg

Alex Wallace | Manager of Community Development City of Pitt Meadows

12007 Harris Road, Pitt Meadows, BC V3Y 2B5

604.460.6726

pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meeting



Think about the environment before printing this email.

From: Kerrie Dykeman < KDykeman@pittmeadows.ca>

Sent: Thursday, January 07, 2021 11:19 AM **To:** Alex Wallace <a wallace@pittmeadows.ca>

Subject: FW: Meeting on January 6 - 19072 Advent Road Development Update

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410



From: Luc Mortier

Sent: Thursday, January 07, 2021 11:13 AM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor&CAO@pittmeadows.ca> **Subject:** Meeting on January 6 - 19072 Advent Road Development Update

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mayor Dingwall and City Councillors

Further to our e-mail of February 4, 2019, copy below, we confirm that we are in support of the new suggested plans for **Six Single Ranch style homes with crawl space**, not basement suites. We attended the Zoom meeting last night with Ridge Peak Development and confirmed our support for

the latest plans that they have drawn up and look forward to seeing the new updated final plans once approved by Council. The new rancher, single homes with a loft are an improvement over the duplexes previously submitted.

We are thankful that the Builder will have an Arborist supervising the protection of the large trees at the front of the property along Advent Road and protect root systems and retain as many other trees as possible.

We appreciate support from Council and thank the Builder for working with residents to find a compromise. One of the concerns raised by residents was the For Sale sign at the property and how this would affect any future development.

Thank You

Yours sincerely

Luc and Janet Mortier

Sent: February 4, 2019 8:11 AM **To:** 'publichearing@pittmeadows.ca'

Subject: Public Hearing - February 5, 2019

Dear Mayor Dingwall and City Councillors

Thank You, we received the Notice of Intention to amend Pitt Meadows Zoning Bylaw at 19072 Advent Road on Thursday evening, January 31 in the mail.

We previously attended the meeting on June 8, 2018 to voice our concerns and filled in our comments for the Developer and City. Unfortunately I was away on business when the last meeting was scheduled on January 22, 2019.

Our concerns are:-

The old Trees that are an extension of Hoffman Park (The park and trees along Advent influenced our decision to move to this community over 19 years ago). A Tree Protection Covenant has been proposed with an arborist supervising which is good news as disturbing the area around the tree roots can affect the stability and health of trees. These old trees are an important character of our neighbourhood and with construction, there is always possible disturbance/damage which is a huge concern. Looking at the attachments D & E, the buildings are close to the trees. If fewer townhomes were to be built, there would be more space and these trees would not be as close to the buildings. If damaged, this would affect their future and safety of the new homes.

The property is relatively small and our suggestion at the June 8th meeting was to ask the developer to consider building 3-4 homes so as to reduce further adding to the issue of lack of

parking on Advent Road. The development does not fit the character of the surrounding homes. We understand and appreciate that the developer has kept within the legal height restrictions and lower density but the older homes on that South side of Advent are single or 1.5 story homes so the 9 homes proposed will not blend into that area. With having 9 homes, there is no yard space for children although the developer is building family sized homes aimed at young families.

Parking is already an issue; Advent road is often full on both sides during the week as well as certain times over weekends. We have the Church, Hoffman Park visitors, West Coast parkers and the School! The developer has included twenty parking spaces (including garages and four visitor parking stalls) which although on paper seems sufficient, we all know that garages fill up and cars move out! The parking situation is already a concern and adding another 9 homes with possibly up to 30 plus vehicles (as some families have 3 or more vehicles) will be a definite negative.

We realize that townhomes have a smaller environmental footprint with shared walls but feel that if the developer reduces the number of units to fit into the character of the neighbourhood, residents would support his plans as long as it included protection of the old trees, addressing parking issues and the character of the units.

We thank you for allowing us to voice our concerns and hope that the developer can come to a positive compromise with neighbours.

Yours sincerely

Luc and Janet Mortier 19137 Advent Road
 From:
 Anne Berry

 To:
 Allison Dominelli

 Cc:
 Alex Wallace

Subject: FW: 19072 Advent Road Development
Date: Tuesday, January 05, 2021 11:41:29 AM

Attachments: <u>image001.jpq</u>

Hi Allison,

For the file.

Anne Berry

Director of Planning and Development

City of Pitt Meadows Phone: 604-465-2425

PittMeadows | FaceBook Instagram | YouTube | CouncilMeetings

From: Bill Dingwall <BDingwall@pittmeadows.ca>

Sent: Tuesday, January 05, 2021 10:46 AM

To: marierose McDonnell COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor&CAO@pittmeadows.ca>; Anne Berry < ABerry@pittmeadows.ca>

Subject: RE: 19072 Advent Road Development

Thank you fore your email Marierose.

Appreciate comments from various perspectives.

Bill

Bill Dingwall | Mayor BGS, LL.B., CPHR

City of Pitt Meadows

12007 Harris Road, Pitt Meadows, BC V3Y 2B5

Phone: 604.465.2416

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From: marierose McDonnell

Sent: Sunday, January 03, 2021 5:12 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor&CAO@pittmeadows.ca>

Subject: 19072 Advent Road Development

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Council members,

My husband and I live on Advent Road and contrary to what some of our neighbours are protesting we are in support of either the development of 6 single dwelling homes or the 7 townhome development. What we are not in favour of is making either of these an adult only development.

Pitt Meadows is a diverse and inclusive community. It is why, as two professionals that commute to the downtown core, we chose to move here 10 years ago and raise our four children here. It is why our children now adults choose to live here. Young families contribute to our community and our economy through their use of our schools, parks, community centres, sports teams, the list goes on.

This property has been sitting vacant for too long and it is time work was started and the community enhanced by its new residents. We hope that the council approves and moves ahead with the proposed development.

We are open to dialogue and appreciate the opportunity as a community to have our voices heard and our opinion validated.

Please feel free to contact either of us, if you wish to discuss further.

With gratitude MarieRose and Desmond McDonnell



19072 Rezoning Application/Development

1 message

merle ransom Wed, Jan 6, 2021 at 11:48 PM To: Ridge Peak Development <ridgepeakltd@gmail.com>, "council@pittmeadows.ca" <council@pittmeadows.ca>

We would like to express very strongly that we are in favor to amend the OCP designation to low-density residential to permit the development of six single family lots.

Merle and Sandra Ransom 19080 Advent Rd Pitt Meadows BC



Development meeting 19072 Advent Road

1 message

rob mclure

Thu, Jan 7, 2021 at 8:05 PM

To: ridgepeakltd@gmail.com Cc: council@pittmeadows.ca

To Whom it may concern:

I object to the 7 unit townhome development:

I agree to the 6 unit single family units if these are the only choices we have.

I do have some concerns with the trees on the south edge of the property (next to Meadowlands Co-op)

- 1. The first two trees on the SW corner are dead
- 2. The 3rd tree is half dead.
- 3. The large fir tree in the center branches overhang our buildings
- 4. The large tree in the SE corner roots have damaged our fence and if the roots are disturbed the tree may become unstable.

also

5. The large tree along the west side of property line approx halfway branches really are a concern in high winds. Thank you

Norma McLure

21- 19032 Advent Road



Development 19072 Advent Rd

1 message

paul lee
To: ridgepeakltd@gmail.com

Sat, Jan 16, 2021 at 11:15 AM

Hi Ridge Peak Development,

I like the 7-unit townhouse development and I believe it will provide more value to our community. I don't have an issue with the 6 lots as well, but the townhouse units give people another cheaper housing option.

Thank you. Paul Lee Doerksen Dr From: Alex Wallace
To: Allison Dominelli

Subject: FW: Regarding 19072 Advent Road Development Date: Thursday, January 07, 2021 1:46:29 PM

Attachments: image001.jpg

image002.jpg

Alex Wallace | Manager of Community Development City of Pitt Meadows

12007 Harris Road, Pitt Meadows, BC V3Y 2B5

604.460.6726

pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meeting



Think about the environment before printing this email.

From: Kerrie Dykeman < KDykeman@pittmeadows.ca>

Sent: Thursday, January 07, 2021 9:09 AM **To:** Alex Wallace <a wallace@pittmeadows.ca>

Subject: FW: Regarding 19072 Advent Road Development

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410



From: Robert Ferguson

Sent: Wednesday, January 06, 2021 6:52 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor&CAO@pittmeadows.ca>

Subject: Regarding 19072 Advent Road Development

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

January 6, 2021

To Ridge Peak (the developer),

As a neighborhood we prefer the building of six (6) single homes (ranch style with loft) as opposed to the seven (7) townhouse development.

Thank you Robert and Penny Ferguson

Sent from Mail for Windows 10



Rezoning application 3360-20-2020-01 of 19072 Advent Road, Pitt Meadows

1 message

rok To:	Wed, Dec 30, 2020 at 7:56 PM "council@pittmeadows.ca" <council@pittmeadows.ca, "ridgepeakltd@gmail.com"="" <ridgepeakltd@gmail.com=""></council@pittmeadows.ca,>
F	rom
F	R Mclure

To: City Council, ridgepeak Ltd.

#21 19032 Advent Road, Pitt Meadows

With reference to the Development Meeting Information slated for January 6, 2021 I am in disagreement with you proposal of a 7-unit townhouse development. However I am in agreement to amend the OCP designation to low-density residential to permit the development of six single family lots.

Thank you

Rob McLure

Sent from Mail for Windows 10

 From:
 Anne Berry

 To:
 Allison Dominelli

 Cc:
 Alex Wallace

Subject: FW: Online Submission to Council

Date: Thursday, January 07, 2021 9:52:34 AM

Attachments: <u>image002.jpg</u>

For the 19072 Advent Rd. file.

Anne Berry

Director of Planning and Development

City of Pitt Meadows Phone: 604-465-2425

PittMeadows | FaceBook Instagram | YouTube | CouncilMeetings

From: Bill Dingwall <BDingwall@pittmeadows.ca>

Sent: Thursday, January 07, 2021 9:46 AM

To: City Website - online submission <no-reply@upanupstudios.com>; COUNCIL (Inc Mayor & CAO)

<COUNCIL.Inc.Mayor&CAO@pittmeadows.ca>; Anne Berry <ABerry@pittmeadows.ca>

Subject: RE: Online Submission to Council

Thx Ron for you email.

I know Council is trying to find the right balance for everyone which is why the process is proceeding the way it has.

Take care.

Bill

Bill Dingwall | Mayor BGS, LL.B., CPHR

City of Pitt Meadows

12007 Harris Road, Pitt Meadows, BC V3Y 2B5

Phone: 604.465.2416

pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meetings



From: City Website - online submission via City of Pitt Meadows <no-reply@upanupstudios.com> On

Behalf Of City of Pitt Meadows

Sent: Wednesday, January 06, 2021 8:16 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: Online Submission to Council

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Submitted on Wednesday, January 6, 2021 - 20:16

Submitted by anonymous user: 70.68.4.186

Submitted values are:

Full name: Ronald Morrison

Email:

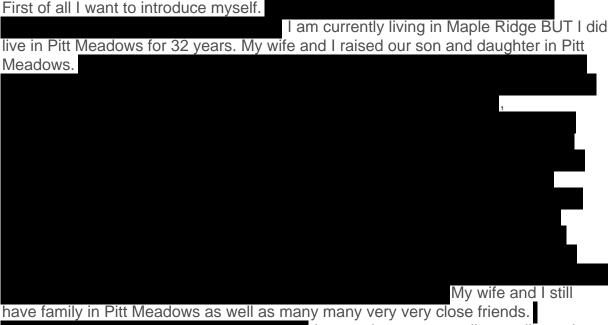
Message:

RE: RIDGE PEAK DEVELOPMENT AT 19072 ADVENT, PITT MEADOWS, BC

To The Mayor and Council of Pitt Meadows

My name is Ron Morrison. I will not be able to participate in the online Zoom meeting scheduled for 7:00 pm tonight January 6/21.

Nonetheless I would like to provide some feedback with regard to above development.



I wanted to stress to all council members that I 'thoroughly understand and know your community'. It is very very special. It provides a unique 'home town feeling' for all residents and visitors.

Regarding the Ridge Peak development at 19072 Advent, I was involved and provided input against their original proposal to build nine two story townhouse complexes. The reasons for rejection were logical and well documented in the municipality's file such as overall spatial congestion, the invasion of privacy of local residences(building heights), too much traffic in an already busy overloaded dead end street, the unknown design of the future Harris road/railway development project plus its overall impact and the major overall rejection of the project by all the local neighbourhood residents, etc., etc. It's all documented. That being said there is some logic to a sustained development when considering housing for specific families and

of course a small tax base for the community. But it would have to be done logically - DONE RIGHT! In my strong opinion the construction of seven townhouses certainly does not fit. Whether it be seven or the original nine townhouses the same basic problems as before, more or less, exist - especially congestion and the local privacy of the existing local residences. Although I would prefer a much smaller two to three single/independent ranch style home development I could support Ridge Peak's six single independent ranch style homes development. The homes would definitely need to be/must be LOW profile as a minimum. Also, I sincerely believe this type of development would attract the senior population who would be looking to downsize, particularly in a home that is more or less, single story. I believe this type of development would work for the local residents, the developer and the city. It would not spoil the very special unique and comfortable Pitt Meadows neighbourly small town ambience.

Anyways, I trust you will take my comments to heart and ensure Pitt Meadows maintains it's very special place in this crazy world we live in. Quite frankly my wife and I are considering to downsize and possibly move back to Pitt Meadows.

Please feel free to contact me anytime.

Please confirm receipt of this email.

Sincerely

Ron Morrison

Council Email:

The results of this submission may be viewed at: https://www.pittmeadows.ca/node/4297/submission/8605

From: Alex Wallace
To: Allison Dominelli

Subject: FW: 19072 Advent Rd Development Plan

Date: Friday, January 15, 2021 2:19:07 PM

Alex Wallace | Manager of Community Development City of Pitt Meadows 12007 Harris Road, Pitt Meadows, BC V3Y 2B5 604.460.6726 pittmeadows.ca | Facebook | Twitter | HaveYourSay | Council Meeting

Think about the environment before printing this email.

----Original Message----

From: Kerrie Dykeman < KDykeman@pittmeadows.ca>

Sent: Friday, January 15, 2021 12:28 PM
To: Alex Wallace <awallace@pittmeadows.ca>
Subject: FW: 19072 Advent Rd Development Plan

Kerrie Dykeman | Executive Assistant Mayor and CAO's Office 604.465.2410

----Original Message-----

From: Sharon Ransom

Sent: Friday, January 15, 2021 12:19 PM

To: COUNCIL (Inc Mayor & CAO) < COUNCIL.Inc.Mayor & CAO@pittmeadows.ca>

Subject: 19072 Advent Rd Development Plan

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Mayor & Council,

I am writing to you all today in regards to proposed Development Plan for 19072 Advent Rd.

I am in favour going against the City OCP, In order for the (6) single family homes that was proposed by Ridge Peak Information Session on January 6th.

I'm glad the developers (Ridge Peak) have taken into consideration the concerns on the large trees at the front of the property. As they the developers have no plans to remove or disrupt them.

However, I still have an issue with Single Family Residence Homes being a two storey house. A Single Family Residence (Rancher-style) home is considered a single level home not a two storey. I would ask that the city asks the developer reconsiders the second level to making it a traditional single family residence before fully approving the plan.

As well as Parking will still remain an issue on this street. As I am a regular visitor there, the street is consistently

full. Think what (6) extra homes plus a new development across from this proposed development will do for street. Even though they've allocated (2) Visitor Stalls this may not be enough. The street will end up being overcrowded and full. I still think they can come up with a better plan for this.

I appreciate you taking the time to read my concerns on the development proposal of 19072 Advent Road.

Sincerely,

Sharon Ransom



Rezoning application 3360-20-2020-01

1 message

Shirley Quinn

Thu, Jan 14, 2021 at 10:04 AM

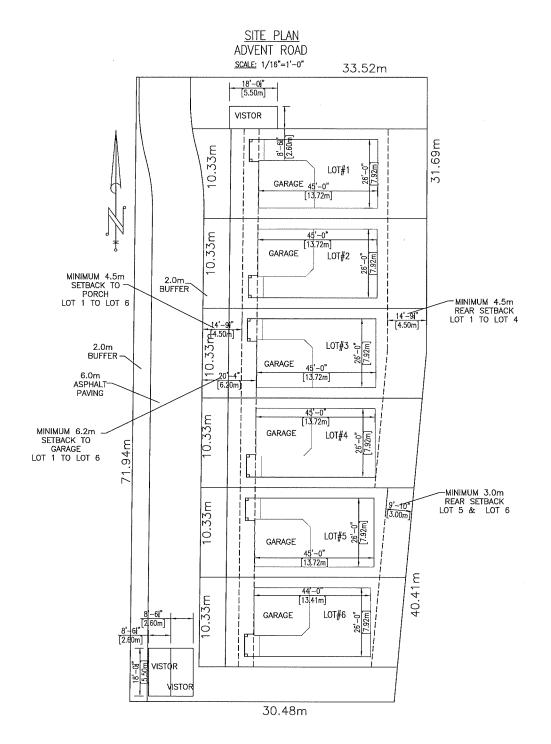
To: ridgepeakltd@gmail.com Cc: council@pittmeadows.ca

I attended the zoom meeting on Jan. 6, 2021 regarding the above. I do not want to see a townhouse on this property but would be okay with 6 single family lots as suggested at the meeting.

Thank you for your consideration.

Shirley Quinn

ATTACHMENT



19072 ADVENT ROAD CURRENT ZONING: RS PROPOSED ZONING: CD SITE COVERAGE CAL.

LOT AREA: 2358.52sq.m.= 25387sq.ft.

MAXIMUM LOT COVERAGE: 50% = 12693sq.ft.

PROPOSED LOT COVERAGE: 666.57sq.m.= 7175sq.ft.= 28.26%

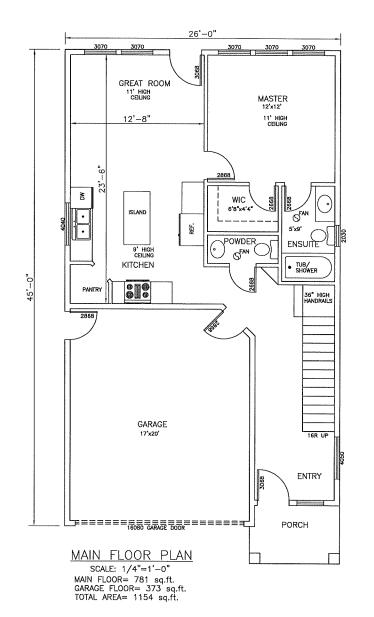
MAXIMUM HEIGHT: 7.5m PROPOSED HEIGHT: 6.65m

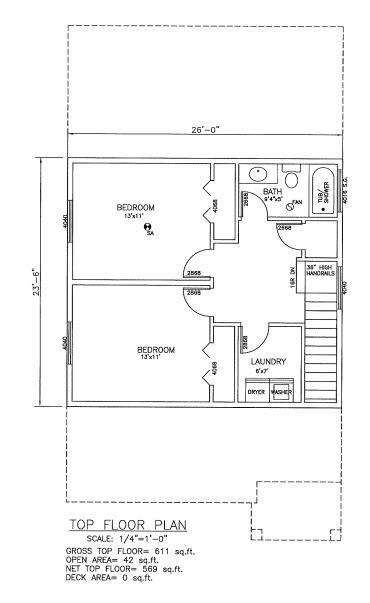
THESE PLANS CONFORM TO THE BCBC 2018 EDITION. PROJECT INFO. 19072 ADVENT ROAD CLIENT NAME PHONE RIDGE PEAK LTD. 604 721 9500 REVISIONS DATE DESCRIPTION

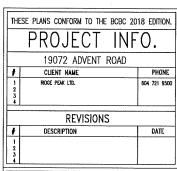
YORK HOME DESIGN LTD.

34870 CHAMPLAIN CRESCENT ABBOTSFORD B.C. CANADA TELEPHONE (604)859-8618 Email: yorkhomedesign@yahoo.ca

-	DATE	SCALE		D₩G #:
-	JAN. 08, 2021	1/16*=1'-0*		211817
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	CIVIC ADDRESS:		SHEET NO:	
	19072 ADV	ent road pi	IT MEADOWS	1 OF 3



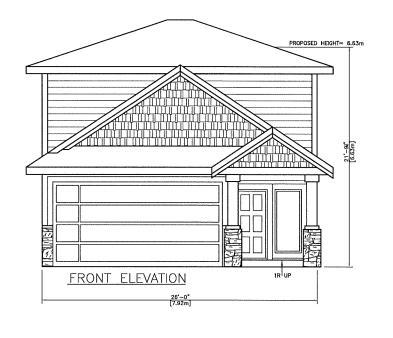


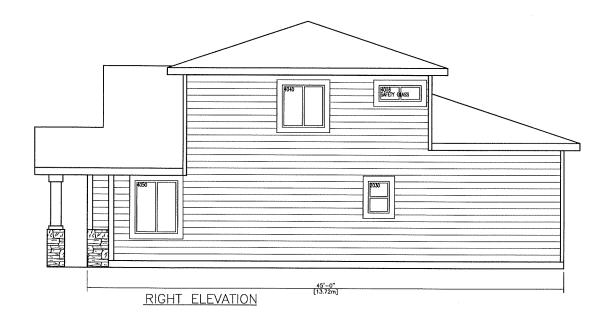


YORK HOME DESIGN LTD.

34870 CHAMPLAIN CRESCENT ABBOTSFORD B.C. CANADA TELEPHONE (604)859-8618 Email: yorkhomedesign@yahoo.ca

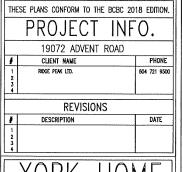
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YORK HOME DESIGN LTD.

34870 CHAMPLAIN CRESCENT ABBOTSFORD B.C. CANADA TELEPHONE (604)859-8618 Email: yorkhomedesign@yahoo.ca

	DATE SCALE 1/4"=1'-0"		DWG #: 211817	
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CITY OF PITT MEADOWS

ZONING AMENDMENT BYLAW No. 2857, 2020

A bylaw to amend applicable sections of Zoning Bylaw No. 2505, 2011

WHEREAS it is deemed expedient to amend the City of Pitt Meadows Zoning Bylaw No. 2505, 2011;

NOW THEREFORE the Council of the City of Pitt Meadows enacts as follows:

- 1. This Bylaw may be cited as the "Zoning Amendment Bylaw No. 2857, 2020".
- 2. The Zoning Bylaw No. 2505, 2011, including Schedule A (Zoning Map), is amended as follows:
 - (a) Part 10 [Residential] is amended by adding a new zone titled Multi-Family Residential 6 ("RM-6"), with the addition of the following subsection:

10.10 RM-6 Multi-Family Residential 6

10.10.1 Intent

The intent of the Multi-Family Residential 6 (RM-6) Zone is to designate land suitable for comprehensively planned moderate density multi-family housing that incorporates a high level of design.

10.10.2 Permitted Uses

Principal Uses	Accessory Uses
TownhouseDuplex	Home-Based BusinessAccessory Buildings and Uses

10.10.3 Permitted Density

The maximum floor-area ratio is 0.45.

10.10.4 Permitted Lot Coverage

The maximum lot coverage is 40%.

10.10.5 Permitted Height

The maximum permitted height for all buildings is 2 and a half storeys and 8 m.

10.10.6 Siting

- a) All buildings shall be sited not less than
 - i) 7.5 m from front lot line;
 - ii) 1.2 m from interior side lot lines;
 - iii) 4.5 m from rear lot line;
 - iv) 3.0 m from exterior side lot line.

10.10.7 Conditions of Use

A carport or garage for at least one vehicle shall be provided for each dwelling unit.

- (b) The parcel of land legally described as
 - (i) PID: 005-741-033
 - (ii) Lot 1 Section 36 Block 6 North Range 1 East New Westminster District Plan 59310

and shown boldly outlined and shaded in Attachment 1, which forms part of this bylaw, is rezoned to Multi-Family Residential 6 (RM-6) zone.

READ a FIRST and SECOND time on [DATE].			
PUBLIC HEARING held on [DATE].			
READ a THIRD time on [DATE].			
ADOPTED on [DATE].			
Bill Dingwall	Kate Barchard		
Mayor	Corporate Officer		

Attachment 1

