

Staff Report to Council

Community Development

FILE: 4520-08-2018-08 - 13236 Harris Road

DATE: July 17, 2019

Date of Meeting – July 23, 2019

TO: Mayor and Council

FROM: Lisa Grant, Director of Community Services

SUBJECT: Soil Removal and Fill Deposit Permit Application – 13236 Harris Road

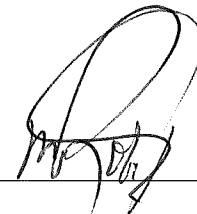
RECOMMENDATION(S): THAT Council:

A. Approve the Soil Removal and Fill Deposit Permit Application made by Quantum Luxury Developments for 13236 Harris Road with the following conditions:

- A.1 A Highway Use Permit & Traffic Management Plan approved by the Director of Engineering or their designate to prevent the obstruction of traffic or staging of trucks on any road; and
- A.2 No dirt, debris or mud shall be permitted on any road. Roads must be kept clean and swept three times daily at minimum, or more as required, with the final cleaning occurring at the end of the workday. Harris Road, Old Dewdney Trunk Road and access to site must be monitored at all times during fill activities, and any debris removed right away; and
- A.3 Filling activities are prohibited on Saturdays, Sundays and statutory holidays and restricted to the hours between 7:00 a.m. to 5:00 p.m. on weekdays;
- A.4 Truck logs must be provided to the City on a monthly basis and levies paid each month; or,

B. Other.

CHIEF ADMINISTRATIVE OFFICER COMMENT/RECOMMENDATION:



PURPOSE

The purpose of the application is to permit the deposit of 13,016 cubic metres of fill for ground improvement to plant blueberries and preload for a winery building. No soil is required to be removed from the property.

☐ Information Report

☐ Direction Report

☒ Decision Report

DISCUSSION

Background:

The Soil Removal and Fill Deposit Regulation Bylaw regulates the removal of soil or the depositing of fill on lands within the City. When the deposit of fill or removal of soil is 500 cubic metres or greater, the proposed activities require Council authorization before issuance of a permit. This application is for the placement of approximately 13,016 cubic metres of structural fill on the 0.752 hectares (1.85 acres) site. The bylaw required the following information from applicants:

- Topographic information about the placement or removal of soil signed and sealed by a Qualified Professional;
- A description of the composition and volume of the soil to be deposited or removed;
- Method of soil removal or fill deposits;
- Proposed accesses to the site during the operations including the proposed routes and schedules of trucks;
- Proposed measures to prevent tracking of soil or other material onto highways and measures for cleaning the highways abutting the parcel where fill is to be placed;
- Proposed measures to control erosion, drainage and soil stability during and after removal or deposit signed and sealed by a Qualified Professional; and,
- Certification that the soil to be removed or fill to be deposited meets the applicable provincial ministry's criteria.

The subject property is zoned A-1 (General Agriculture), and the Official Community Plan (OCP) land use designation is Agricultural. The subject property is located north of Old Dewdney Trunk Road and east of Harris Road (Attachment A). The applicant has applied for a Soil Deposit and Fill Removal Permit for the following purposes:

- To plant 15 acres of blueberries and;
- The construction of a winery and tasting room. The building is anticipated to have a footprint of approximately 2,368 square metres with the addition of a graveled parking lot and driveway access onto Old Dewdney Trunk.

The site is located within the floodplain as per the City's Floodplain Designation and Construction Control Bylaw (Attachment B). This bylaw exempts farm buildings from the flood

protection elevation requirements. Due to the elevation of the road, the winery building will need to be elevated based on the recommendations outlined in the geotechnical report. The plan submitted by Quantum Luxury Developments shows the existing grade elevation at 1.00 metres. Based on the average elevation of the roads (2.00 metres), the proposed floor elevation of the building is 2.30 metres.

The total amount of fill being brought on site will be used for the building construction (Table 1). The excavated soil will be spread out in the area behind the building (Figure 1) at the southwest corner of 13236 Harris Road for the blueberry planting. Native soils removed during excavation and subgrade preparation must remain on site (Attachment C).

	Soil Type	Estimated Volume
<u>Imported Soils</u> ¹ (footprint area of 7521 m ²)	<u>Erosion Sediment Control Plan</u> • Gravel (from rock quarry), Pit at 34191 Vye Rd, Abbotsford, BC	225 m ³ of 30 mm crushed gravel 5 m ³ of 19 mm crushed gravel
	<u>Bulk Structural Fill and Preload</u> • River Sand (Fraser River) dredged by Mainland Sand & Gravel stockpiled at 19909 101 Ave, Langley, BC	11,282 m ³ of Dredged River Sand
	<u>Final Site Cover</u> • Gravel (from rock quarry), ¾" clear or minus crushed gravel (Road Base) by Pit at 34191 Vye Rd, Abbotsford, BC	1504 m ³ of crushed granular fill
	<u>Total Imported Volume</u>	13,016 m ³
<u>Soil Removal</u>	Top soil, clay with high organics, peat, sod	<u>Zero</u> (3760 m ³ to remain on property)

Table 1 Soil type and volume for preload

The applicant will be using a truck, excavator, compactor and bulldozer for the preload and spreading of topsoil. To reduce the potential negative impacts on the surrounding agriculture land, the following measures will be taken:

- graveling of a driveway and a parking lot for equipment;
- soil mulching and revegetation of the site and;
- erosion and sediment control plan will be followed and monitored by a Qualified Professional through the project.

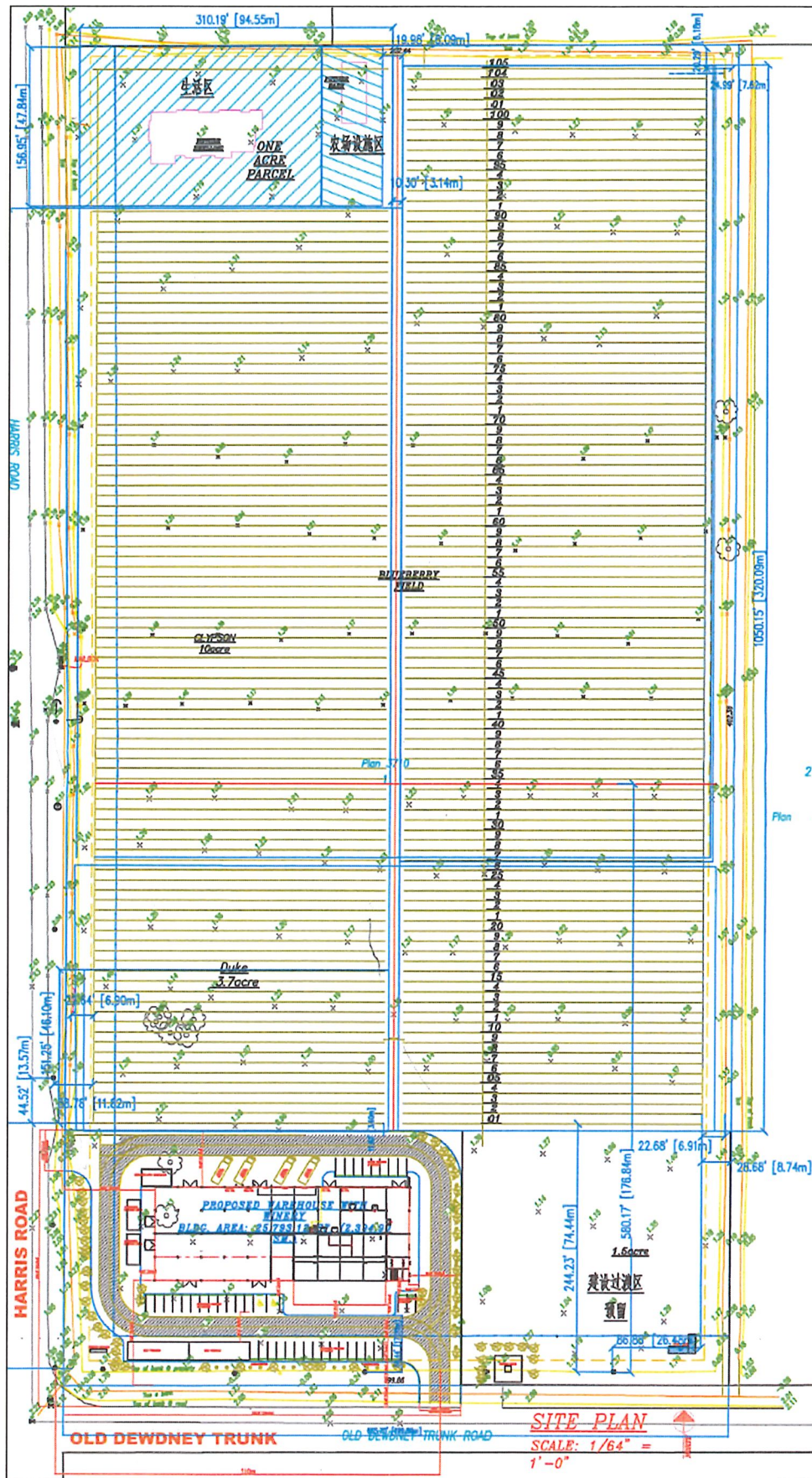


Figure 1 Site Plan - Winery and Blueberry Field

Analysis

Geotechnical Report

Policy No. C030 “Geotechnical Report Guidelines” (Attachment D) applies to projects requiring fill and soil consolidation to support a foundation. The policy sets out the standards and requirements to be addressed in those reports. Terran Geotechnical has prepared a geotechnical report dated December 10, 2018, which meets the standards set out in Policy No. C030. The report states that the organic silts and surficial peats and topsoil can be left in place, fill to design grade with compacted structural fill.

Road Cleaning

According to the provisions of the Soil Removal & Fill Deposit Regulation Bylaw, “dirt, mud, and debris resulting from a removal or deposit operation which is tracked onto public roads must be removed daily or as directed by the Director.” The plan submitted shows that all vehicles that are traveling onsite must be restricted to paved or gravel stabilized areas. A gravel haul road runs north/west on the property. (Attachment E) The access to the property is off Old Dewdney Trunk Road with no access permitted off of Harris Road. These site improvements should reduce or eliminate debris tracking onto Old Dewdney Trunk Road and other roads. Staff will work with Quantum Luxury Developments to resolve any concerns raised throughout the length of the permit (Attachment F). The following conditions will be added to the Highway Use Permit and the Soil Removal and Fill Deposit Permit:

- *No obstruction to traffic or staging on the road permitted at any time (even with traffic control in place). This would require a Traffic Management Plan and/or further approval from the City.*
- *No dirt, debris or mud on the road. Roads to be kept clean and swept three times daily minimum or more if required, the last time occurring at the end of the workday. Harris Road, Old Dewdney Trunk Road and access to site must be monitored at all times during fill activities, and any debris removed right away.*

Operations Hours

The filling would be prohibited on Saturdays, Sundays and statutory holidays and restricted to the hours between 7:00 a.m. to 5:00 p.m. on weekdays. The duration for fill activity stated on the application is for one year after which Quantum Luxury Developments can apply for a renewal of the permit 30 days before the expiry date of the existing permit.

Archaeological Sites

According to mapping prepared by the Ministry of Forests, Lands, and Natural Resource Operations, no archaeological sites are identified on the site. It is expected that, if archaeological artifact finds are discovered during the fill process, Quantum Luxury Developments would report these finds directly to appropriate provincial authorities.

Agricultural Advisory Committee (AAC)

The soil application went to the AAC for comments on March 28, 2019. The Committee requested more information regarding agrology, a business plan, the extent of the berry farming and future plans for the site.

The application was discussed again at the AAC meeting on July 11, 2019 with new information submitted to the City and the AAC members. After reviewing and discussing the additional information the Committee passed a motion to support the issuance of the soil removal and fill deposit application for 13236 Harris Road.

Agricultural Land Commission

With the recent application changes to the Agricultural Land Reserve legislation (Bill 52), a Notice of Intent (NOI) needs to be filed with the Agricultural Land Commission (ALC) and approved before the City can issue a soil removal and fill deposit permit. The ALC received an NOI application on March 13, 2019, and is processing the request (ALC NOI ID 58813). The City has been notified by the ALC that the applicant will have to apply for a Non-Farm Use Placement of Fill and has advised that the City must approve the Soil Removal and Fill Deposit Permit Application prior to the ALC processing the application.

Relevant Policy, Bylaw or Legislation:

The Soil Removal and Fill Deposit Regulation Bylaw No. 2593, 2013 regulates the placement of fill or the removal of soil or other material on land in the City.

The Floodplain Designation and Construction Control Bylaw No. 2381, 2008 regulates construction in the floodplain in the City.

The Highway and Traffic Bylaw No. 2260, 2006 regulates traffic and the use of highways and other areas in the City.

Council Policy C030, Geotechnical Report Guidelines, provides information to prospective applicants and their engineering professionals on when geotechnical reports are required and sets out the standards and requirements to be addressed in those reports.

Analysis:

Staff supports the approval of the Soil Removal and Fill Deposit application for 13236 Harris Road subject to the conditions outlined in the staff report dated July 03, 2019. The application submitted meets the requirements of the Soil Removal and Fill Deposit Regulation Bylaw. The permit will not be issued until staff has received notification from the Agricultural Land Commission that the NOI has been approved.

COUNCIL STRATEGIC PLAN ALIGNMENT

☐ Corporate Excellence

☒ Economic Prosperity

☒ Community Livability

☐ Transportation & Infrastructure

☐ Not Applicable

FINANCIAL IMPLICATIONS

☐ None ☐ Budget Previously Approved

☒ Other ☐ Referral to Business Planning

The City will receive a levy of \$0.50/cubic metres for the material being placed on site. The estimated amount of structural fill to be deposited is 13,016 cubic metres. The \$6,508 levy collected would be placed in transportation reserves.

PUBLIC PARTICIPATION

☒ Inform ☐ Consult ☐ Involve ☐ Collaborate ☐ Empower

KATZIE FIRST NATION CONSIDERATIONS

Referral ☐ Yes ☒ No

SIGN-OFFS

Written by:

Chantal Gemperle, Supervisor of Building &
Bylaws/Licensing Inspector

Reviewed by:

Alex Wallace, Manager of Community
Development

ATTACHMENT(S):

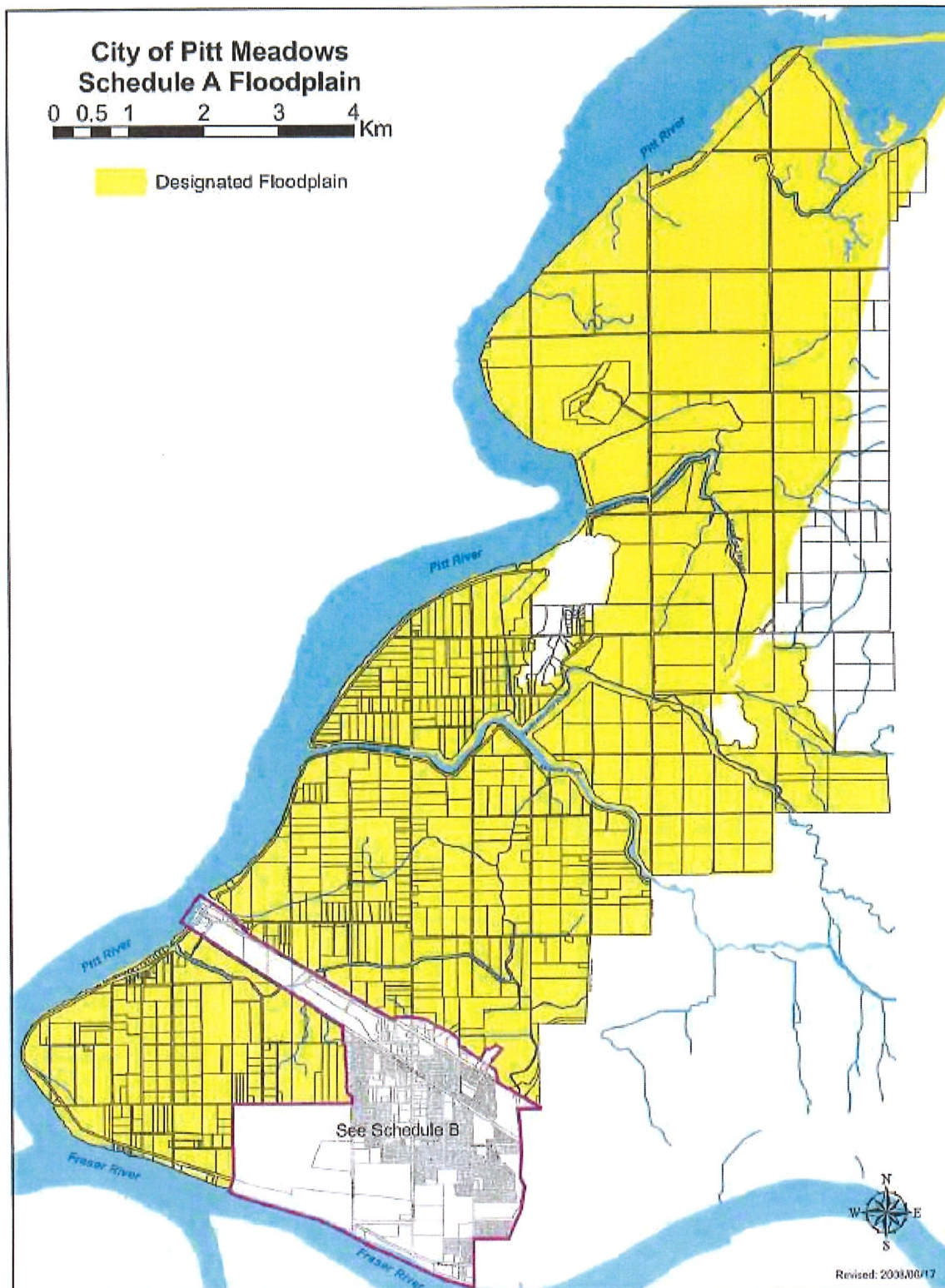
- A. Subject Property Map
 - B. Floodplain Designation and Construction Control Bylaw No. 2384, 2008, Schedule B
 - C. Lot Grading Plan
 - D. Council Policy C030, Geotechnical Report Guidelines
 - E. Erosion Sediment Control Plan
 - F. Truck Route Network
-



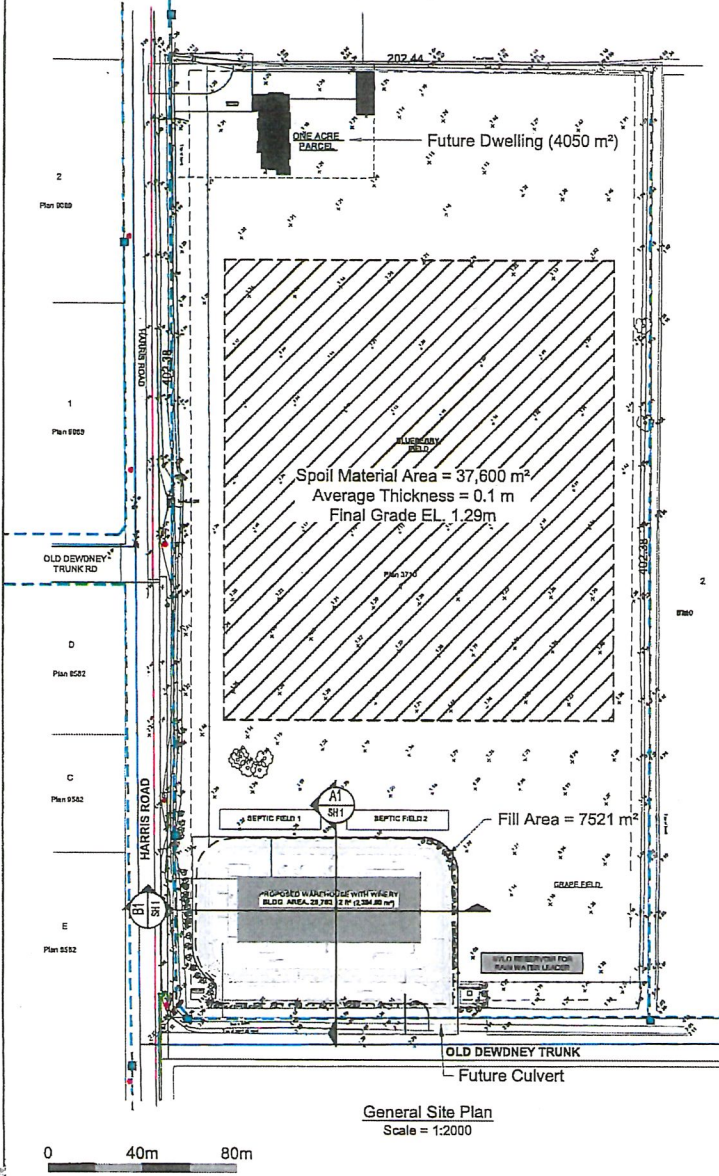
**CITY OF PITT MEADOWS
FLOODPLAIN DESIGNATION AND CONSTRUCTION CONTROL
BYLAW NO. 2384, 2008.**

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SCHEDULE A:



- Note:
1. Refer to Terran Geotechnical Consultants Memo "Soil Removal and Deposit (SRD) Procedures" for more information regarding site grading.
 2. Final elevation must not exceed 2.45m as per Soil Bylaw No. 2593, 2013.

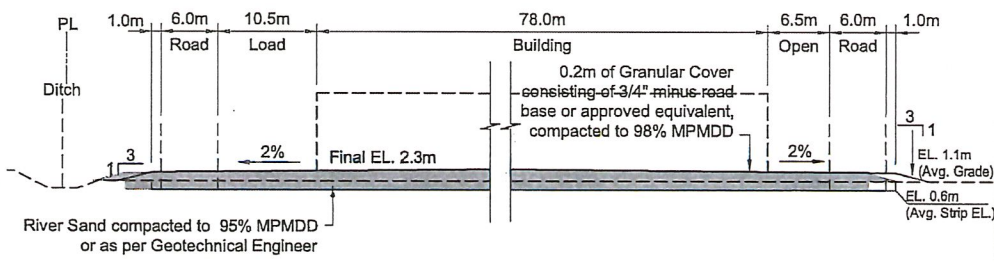
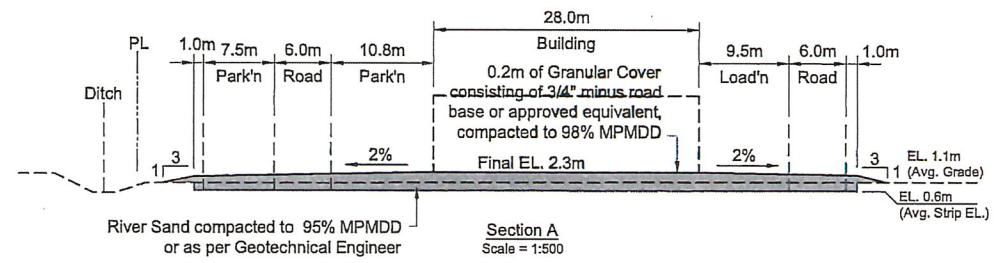


- Legend:
- Watercourse
 - Watermain
 - Forcemain (Private)
 - DP Gas
 - BC Hydro Pole
 - Culvert Inventory
 - Excavation / Fill Area



Key Plan
Scale = 1:2000

Note: Final Elevation must not exceed 2.45m



TERRAN
GEOTECHNICAL

PROFESSIONAL
D. F. Y. LEE
45038
C. BRITISH C.

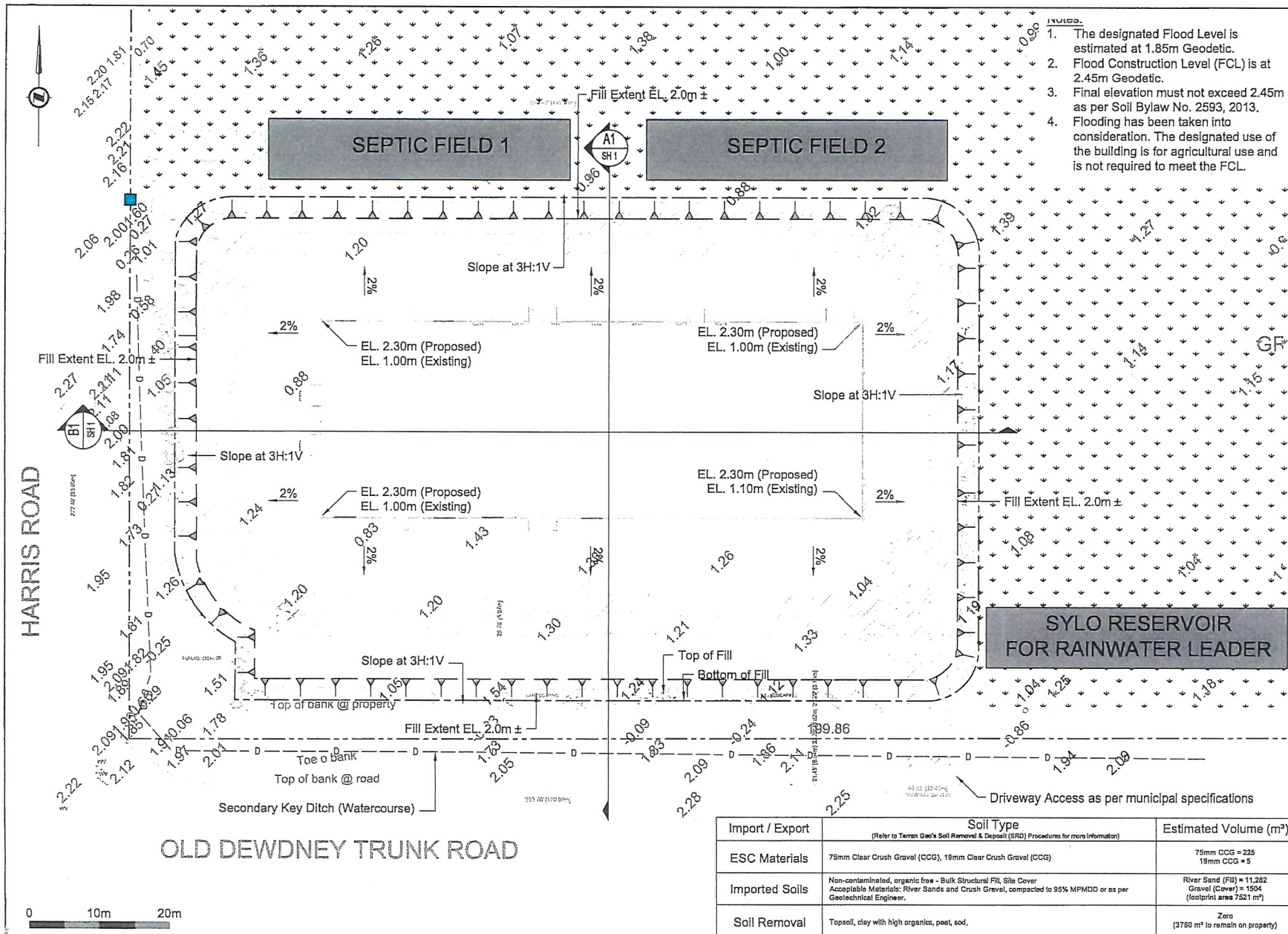
RECEIVED
NOV 1 2018

Weitia Canada Enterprise Corp.
Lot Grading Plan
13236 Harris Road, Pitt Meadows, B.C.
Project Number: 5319-01

Design Drawings
Site Plan

Sheet Number: 1
Date Created: 2018-08-17
Date Revised: 2018-12-12
Drawn By: J. Smith
Reviewed By: D. Lee
Scale: As Shown

5319-LGP-SH-01 2



Wellita Canada Enterprise Corp.

Lot Grading Plan

13236 Harris Road, Pitt Meadows, B.C.

Project Number: 5319-01

Design Drawings
Site Plan

Sheet Number: 2
Date Created: 2018-07-30
Date Revised: 2018-12-12
Drawn By: J. Simihag
Reviewed By: D. Lee
Scale: 1:500

5319-LGP-SH-02

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**COUNCIL POLICY C030**

13 - Planning & Development

Geotechnical Report Guidelines

Effective Date: October 2, 2007

Revised Date: July 3, 2012

Reaffirmed Date: July 21, 2015

1. Purpose

The City is relying on the geotechnical engineer's report to avoid, or at least mitigate as specified, any damage to property and/or injury to persons from occurring as a result of geotechnical concerns relating to proposed development.

This policy provides information to prospective applicants and their engineering professionals on when geotechnical reports are required and sets out the standards and requirements to be addressed in those reports.

2. Policy**Application**

A geological and geotechnical review, report, study or site specific study is required by the City to support Development Permit, Building Permit, and Rezoning or Subdivision applications in areas as determined by the City from time to time.

A geological and geotechnical review may be required when any of the following conditions apply:

- The project is located on or within 15 metres of a natural, existing or proposed slope greater than 20%
- The project proposes to direct storm water to an existing or proposed slope greater than 20%
- The project will require site grading involving more than 500 m³ or cuts/fills in excess of 1.2 metres in depth or height
- The project will require pre-load or soil consolidation to support a foundation.



Level of Safety

The professional engineer shall consider the following requirements when determining whether a property is “safe” or can be “safely used”:

- The extent of property damage and damage/harm to life and limb which occurs is not likely to be in any way greater than the damage or harm which would occur prior to the development taking place.

A detailed geotechnical review and onsite investigation shall be undertaken by qualified professional geological or geotechnical engineers in order to determine whether the proposed development can occur in a safe manner and to describe mitigation requirements to be employed, where appropriate. The professional shall be guided by the City’s requirement that development shall have a level of safety for any and all geotechnical failures with a 0.5% probability of failure occurring in a 50 year period (a return period of 1:10,000) for applications requiring rezoning, subdivision or development permit approval and a 2% probability of failure occurring in a 50 year period (a return period of 1:2475) for building permit applications.

The City reserves the right to modify this standard to suit the proposed development.

Report Requirements

A geotechnical report shall address the following minimum requirements pertaining to slope and soil stability:

- The professional geotechnical engineer has reviewed all information available to the consultant, including previous geotechnical reports and relevant materials located within the City’s Geotechnical Library. Each report shall describe the specific information reviewed and onsite tests conducted to arrive at the conclusions and recommendations within the report
- Each report shall contain all logs of geotechnical explorations (boring, test pits, trench logs, etc.) conducted on the property, plus a statement explaining the sufficiency in number and depth in order to evaluate site conditions and acquire data to justify all conclusions and recommendations
- The scope and intent of the proposed development
- Statement that there is no net decrease in overall slope and soil stability resulting from the proposed development or works
- Identification, probability and consequences of risks and a statement that slope/soil instabilities will be mitigated by the owner/developer to provide for the safe occupation and use of the development lands and adjacent nearby lands
- Other factors which the professional geotechnical engineer considers relevant to the review, including an assessment of risk, potential consequences, and mechanisms to guarantee ongoing maintenance of slope/soil stabilities over time



- A construction management plan, monitoring and reporting requirements by the professional geotechnical engineer
- Sign and seal each report/letter submitted to the City.

Professional Assurances

The professional geotechnical engineer **MUST** provide in writing the following specific geotechnical assurances **to the City** with each report/letter:

- The professional geotechnical engineer has carried out all necessary surface and subsurface investigations that the Engineer considers necessary to provide the review, design and supervision undertaking being given and adherence to these guidelines
- The professional geotechnical engineer will provide the review, design and supervision such that, in the Engineer's opinion, the site is suitable for the proposed development and the proposed development does not and will not compromise in any way the stability of the soil on-site or soil on lands which are adjacent or nearby, and will not cause or contribute to such soils becoming susceptible to land slip, land slide, rock fall, mud/land flow, debris flow, torrent, erosion, slumping, creeping, settling, avalanches or other such occurrence
- In the professional geotechnical engineer's opinion, in the event of any land slip, land slide, rock fall, mud flow, debris flow, debris torrent, erosion, slumping, settling or other such occurrence, which occurs after the proposed development is completed, the extent of the property damage and damage to life and limb which occurs is not likely to be in any way greater than the damage or harm which would occur prior to the development taking place
- The professional geotechnical engineer's undertaking that he/she is retained by the owner/developer to review, consult, design and fully supervise the construction of the proposed development, and that on completion of the work, he/she will confirm in writing that he/she has fulfilled the review, design and supervision undertakings and the proposed development can be safely used for its intended purpose, taking into consideration future changes which could reasonably occur to the proposed development over time. In the event the retainer is terminated for any reason by the owner/developer, the Engineer shall be obligated to immediately notify the City in writing of that fact
- The professional geotechnical engineer's undertaking that he/she shall notify the City if he/she becomes aware of changes or new information which could affect the outcome of their geotechnical review and/or recommendations.



Professional Liability Insurance

The professional geotechnical engineer shall provide the City with evidence of occurrence based professional liability insurance coverage which does not lapse in the amount of at least \$2,000,000 as provided to their client.

Covenants

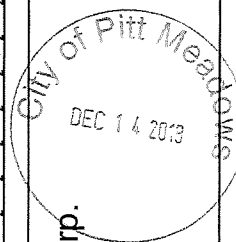
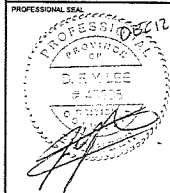
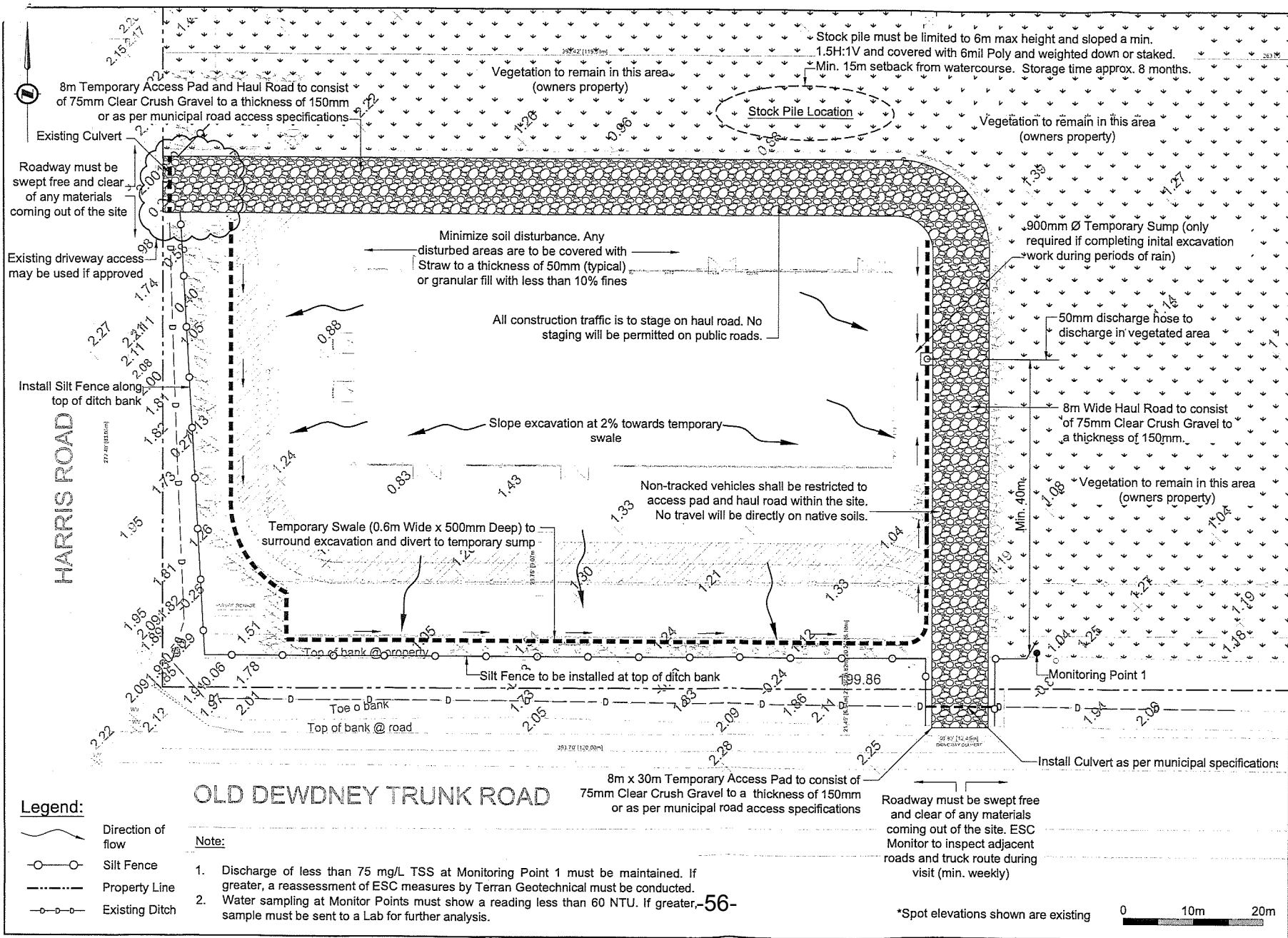
The owner/developer may be required by the City to register a covenant against the property title at the Land Titles Office as a notification to future land owners. The covenant will incorporate provisions included in the geotechnical report(s) and indemnify the City against all claims. During the construction phase enforcement of the covenant provisions are the joint responsibility of the owner/developer and the professional geotechnical engineer.

Security

The owner/developer may be required by the City to provide bonding as security for performance of the on-site and off-site construction works and secure the provisions outlined in the geotechnical report(s) pertaining to that construction.

Peer Review

The City may require a professional geotechnical engineer peer review for conformance to good engineering practice and adherence to these guidelines on a case by case basis. The peer review shall be completed by a qualified professional geotechnical engineer engaged directly by the City. Any costs incurred by the City to conduct a peer review shall be borne by the owner/developer. The Engineer engaged by the City shall notify the professional geotechnical engineer and owner/developer in writing of the peer review.



Wellita Canada Enterprise Corp.

Erosion and Sediment Control Plan

13236 Harris Road, Pitt Meadows, B.C.

Project Number: 5319-01

PREPARED FOR




Design Drawings
Site Plan

Sheet Number: 2
Date Created: 2018-07-30
Date Revised: 2018-12-12
Drawn By: J. Siminag
Reviewed By: D. Lee
Scale: 1:500

5319-ESC-SH-02

1

City of Pitt Meadows Truck Route Network

-  Provincial Highway/Translink
-  City Truck Routes
-  Limited Use Truck Route (Max 26,100 Kg)

