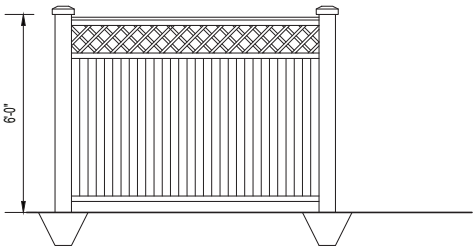


CALCULATIONS :

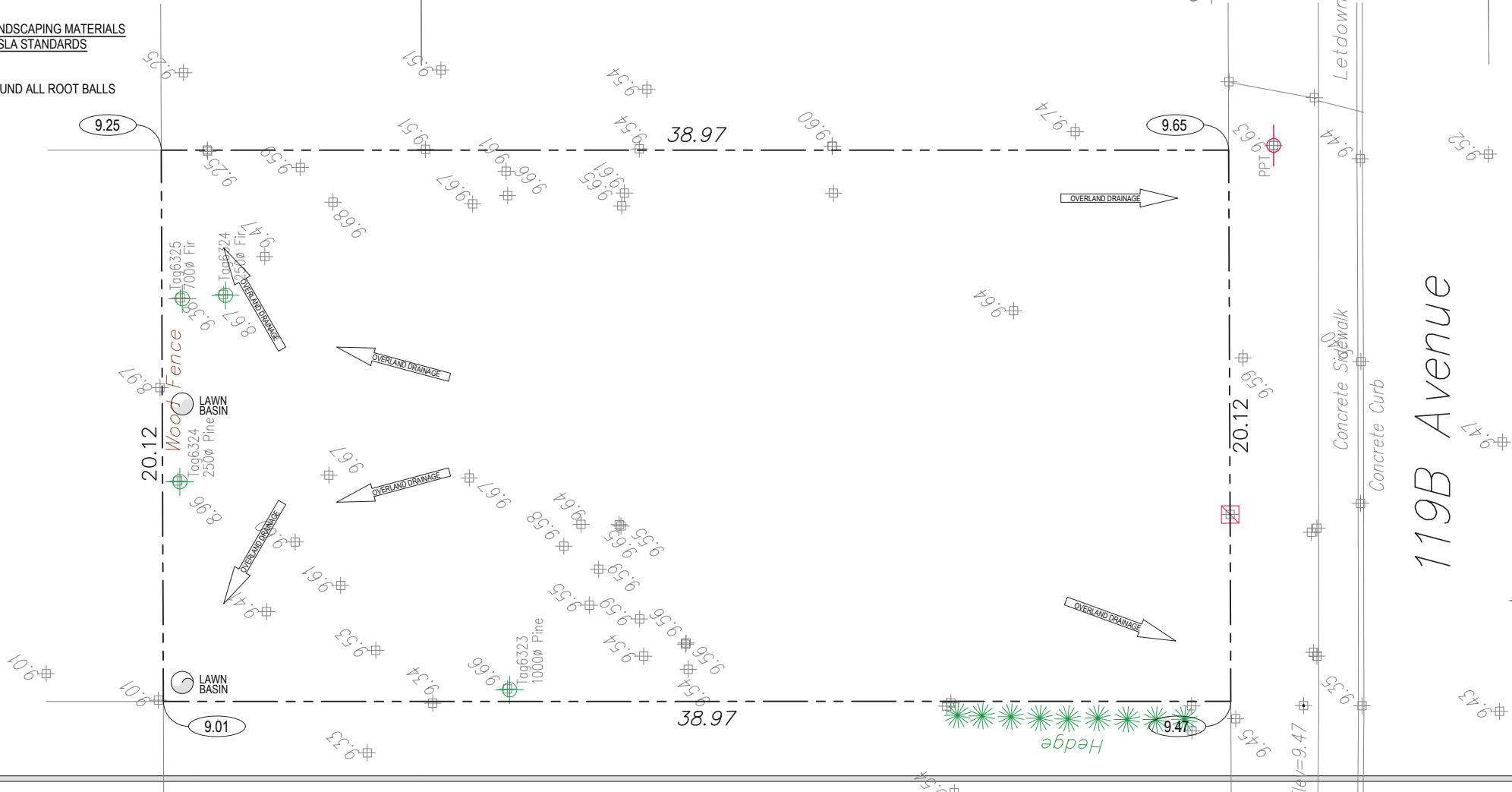
LOT SIZE:	
PERMITTED FAR(48%):	8,440 sq.ft.
PROPOSED FLOOR AREAS:	4,051 sq.ft.
PRINCIPAL BUILDING:	
MAIN FLOOR :	2,044 sq.ft.
UPPER FLOOR:	2,000 sq.ft.
	4,044 sq.ft.
BASEMENT AREA:	2,044 sq.ft.
PROPOSED FAR:	6,088 sq.ft.
GARAGE AREA:	
PERMITTED :	46 sq.m. [495 sq.ft.]
PROPOSED:	494 sq.ft.
LOT COVERAGE:	
PERMITTED (40%):	3,376 sq.ft.
PROPOSED:	3,102 sq.ft.



FENCE DETAIL
STAINED CEDAR FENCING

*NOTE: ALL LANDSCAPING AND LANDSCAPING MATERIALS
TO CONFORM TO THE BCLNA/BCSLA STANDARDS

- SHRUB BEDS: 0.4m DEPTH
- LAWN: 0.15m DEPTH
- TREES: 0.3m DEPTH AROUND ALL ROOT BALLS



SITE PLAN
SCALE: 1/8" = 1'-0"

LOT GRADING
SCALE: 1/8" = 1'-0"



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V3S 9K7
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dmand@telus.net
www.dmanddesign.com

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DO NOT SCALE DRAWINGS

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REVISIONS:

JOB DESCRIPTION:
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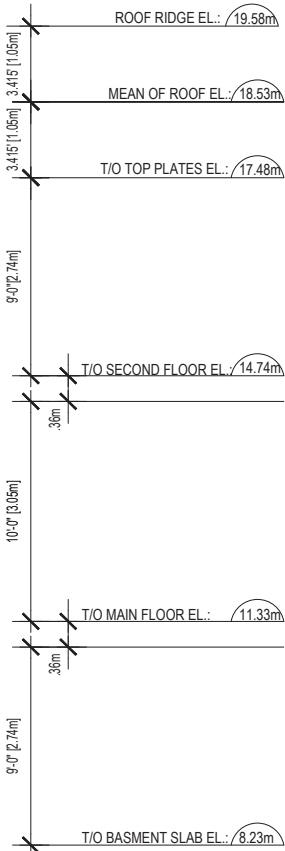
ADDRESS:
19343 119B Avenue
PITT MEADOWS, B.C.

LEGAL DESCRIPTION:
Lot 59 DL 283 G. 1
NWD Plan 37782

PID :

CLIENT:

DATE:	REV OCT 2024	1
SCALE:	1/4"=1'-0" (UNO)	
DRAWN:	HARP	
CHECKED:	D.M.	

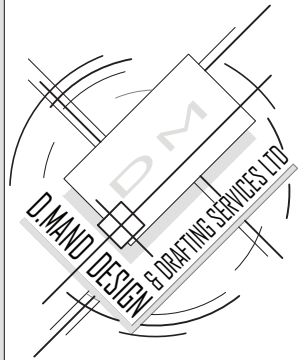


EACH UNIT TO BE PAINTED DIFFERENT COLOURS

SOUTH ELEVATION



NORTH ELEVATION



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SCALE: 1/4"=1'-0" (UNO)
DRAWN: HARP CHECKED: D.M.

2

GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY D.MAND DESIGN AND DRAFTING SERVICES LTD. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C. 2018). THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE RESPONSIBILITY OF THE BUILDER/FRAMER TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.

DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS, DO NOT SCALE THESE DRAWINGS.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURERS INSTRUCTIONS IN A TIMELY MANNER.

STRUCTURAL FRAMING MATERIALS ARE TO BE:

- JOISTS: DOUGLAS FIR #2 OR BETTER.
- LINTELS: DOUGLAS FIR #2 OR BETTER.
- BEAMS: DOUGLAS FIR #2 OR BETTER.
- HEADERS: DOUGLAS FIR #2 OR BETTER.
- RAFTERS: DOUGLAS FIR #2 OR BETTER.
- PLATES: DOUGLAS FIR OR SPF #2 OR BETTER.
- STUDS: DOUGLAS FIR OR SPF STUD GRADE.

UNLESS OTHERWISE STATED. APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C.B.C RESIDENTIAL STANDARDS AND THE SPAN BOOK 2004 EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6'-0" ON CENTER, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 45LB. FELT, SILL GASKET OR OTHER APPROVED METHODS.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.

FLOOR JOISTS SPANNING MORE THAN 7'-0" ARE TO BE BRIDGED AT MID SPAN OR AT 7'-0" O.C. BY 2" X 2" DIAGONAL BRACING. ALL SUBFLOORS TO BE 5/8" T&G PLYWOOD, GLUED AND NAILED TO FLOOR JOISTS.

PARTITION WALL PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE JOIST OR BLOCKING BETWEEN JOISTS. PARTITION WALLS, SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.

ALL LINTELS TO BE 2 - 2" X 10" DOUGLAS FIR #2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 2" BEARING.

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

ROOF SPACE SHALL BE VENTED WIT H ROOF TYPE, EAVE TYPE, AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:150.

CRAWLSPACES SHAL BE VENTED TO A MINIMUM OF 1:500. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT.

MINIMUM INSULATION REQUIREMENTS:

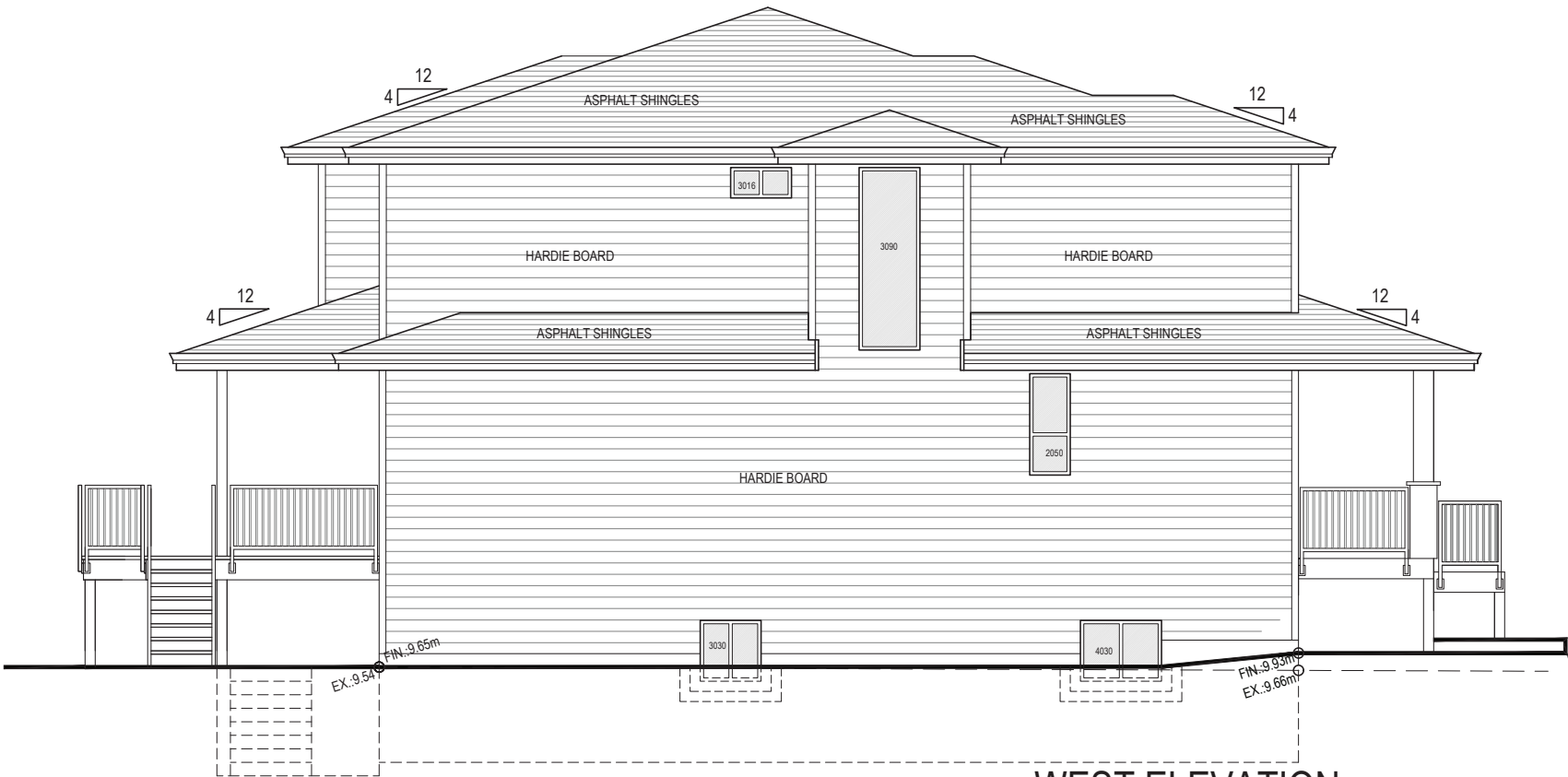
- FOUNDATION WALL: R-12
 - ROOF: R-40
 - 2" X 4" WALLS: R-14
 - 2" X 6" WALLS: R-20
 - CANTILEVERED FLOORS, CEILINGS AND DECKS ABOVE FLOORS: R-28
- WITH 6MIL POLY VAPOUR BARRIER INSTALLED ON THE WARM SIDE OF THE INSULATION.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 20" X 32" ACCESS HATCHWAY, WEATHERSTRIPPED

PROVIDE A COPY OF SIGNED ANS SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.

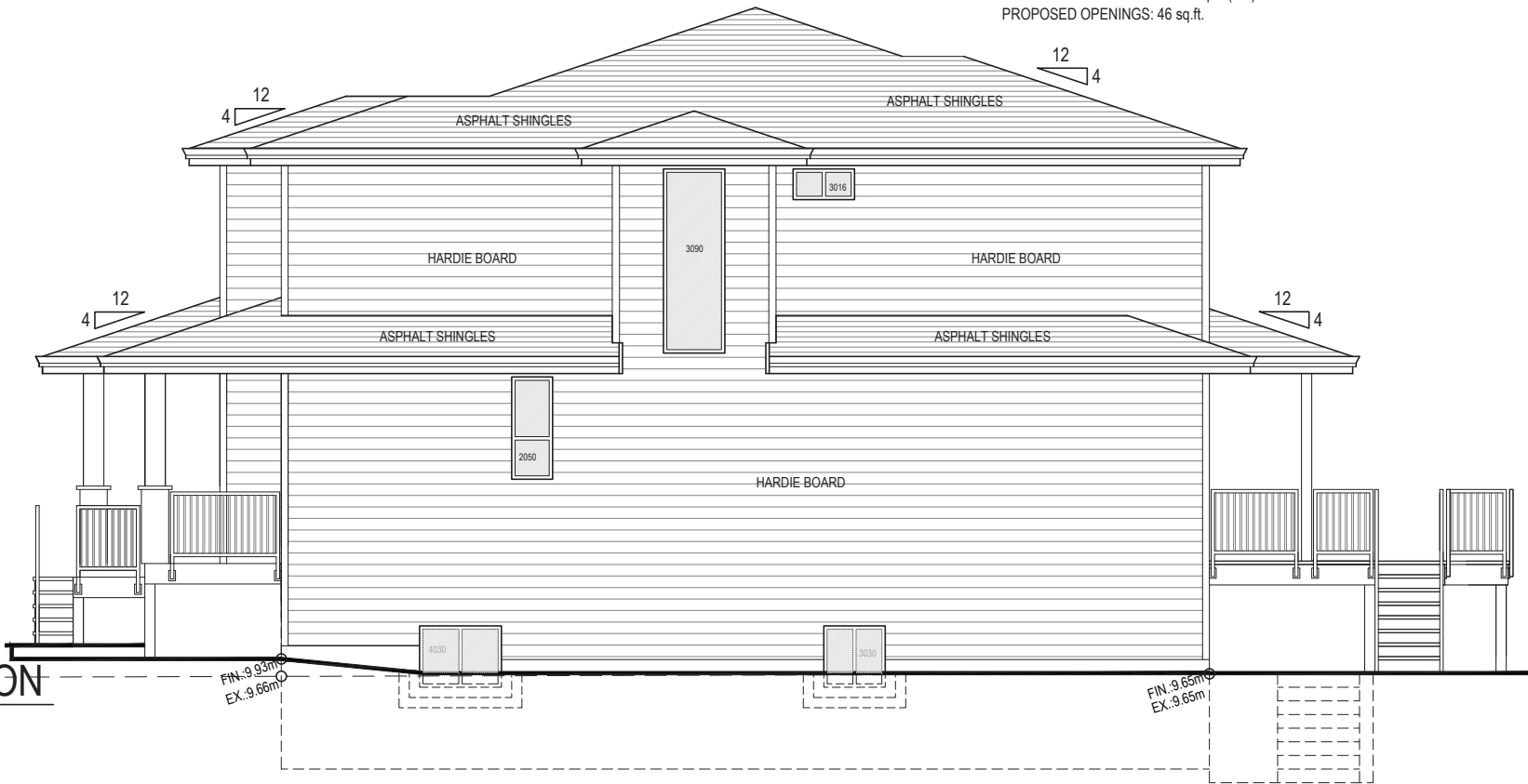
REMOVING WEB MEMBERS, DRILLING OR CUTTING CHORDS WILL NOT BE PERMITTED.



WEST ELEVATION

SPATIAL CALCULATIONS:

LIMITING DISTANCE: 1.52m
WALL AREA: 1,017 sq.ft. [94.48 sq.m.]
PERMITTED OPENINGS: 81.36 sq.ft. (8%)
PROPOSED OPENINGS: 46 sq.ft.



EAST ELEVATION

SPATIAL CALCULATIONS:

LIMITING DISTANCE: 1.52m
WALL AREA: 1,017 sq.ft. [94.48 sq.m.]
PERMITTED OPENINGS: 81.36 sq.ft. (8%)
PROPOSED OPENINGS: 46 sq.ft.



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REVISIONS:

JOB DESCRIPTION:

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19343 1198 Avenue
PITT MEADOWS, B.C.

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Lot 59 DL 283 G. 1
NWD Plan 37782

PID :

CLIENT:

DATE:

REV OCT 2024

SCALE:

1/4"=1'-0" (UNO)

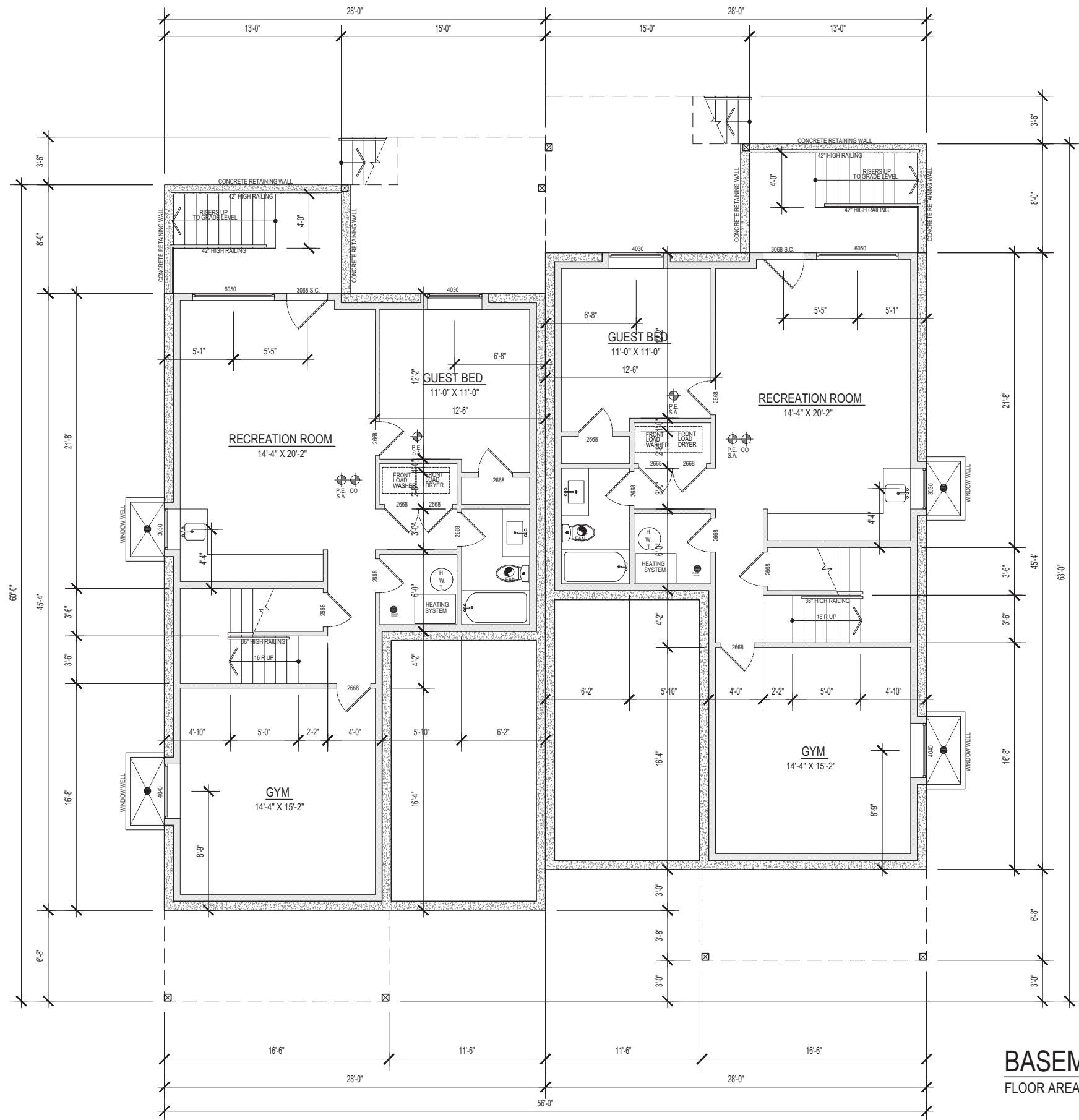
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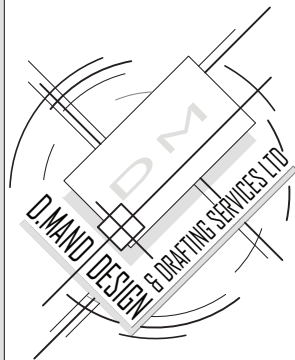
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BASEMENT FLOOR PLAN

FLOOR AREA: 2,044 sq.ft. (PER UNIT 922 sq.ft.)



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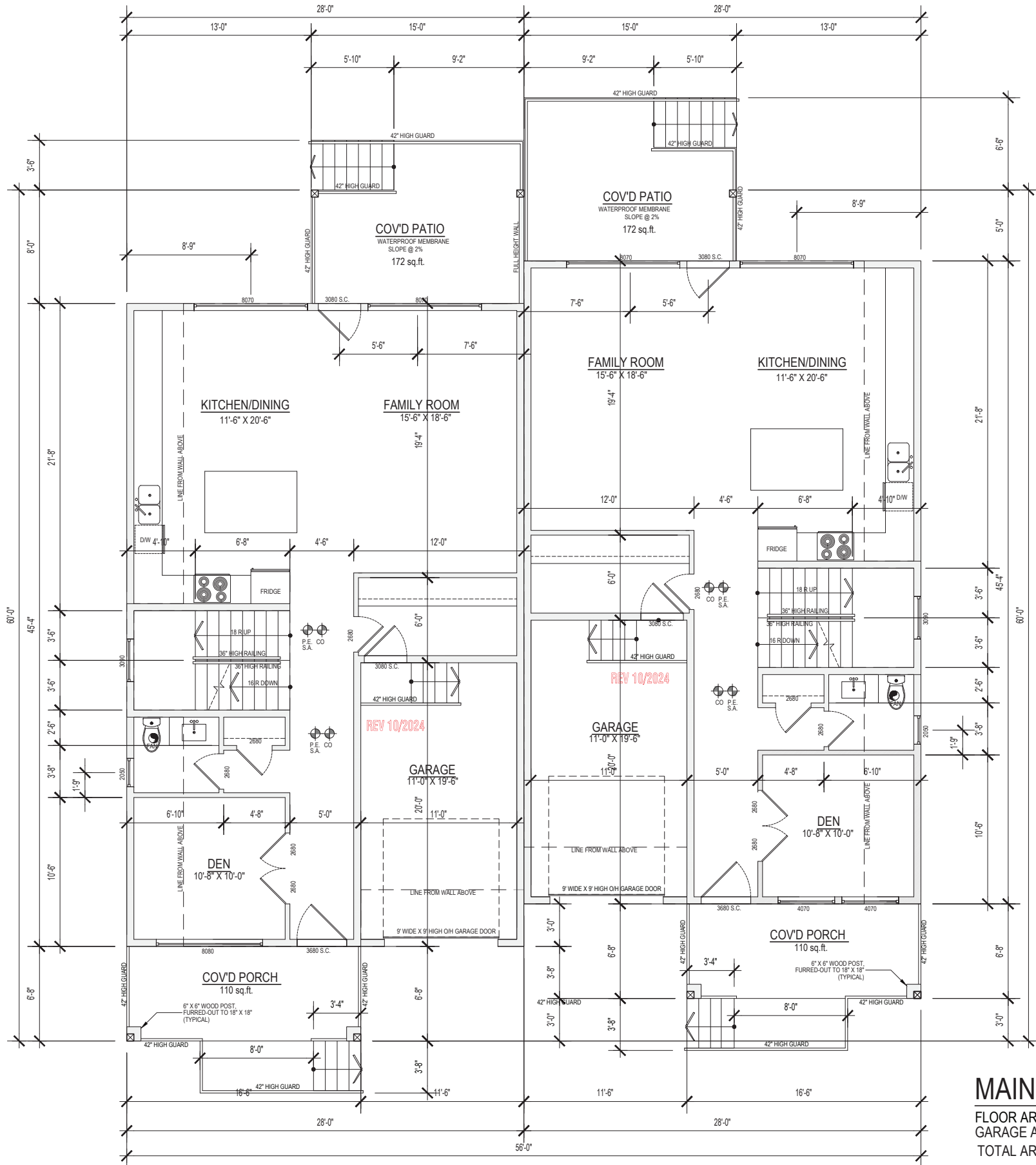
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DATE:	REV OCT 2024	5
SCALE:	1/4"=1'-0" (UNO)	
DRAWN:	HARP	
CHECKED:	D.M.	



MAIN FLOOR PLAN

FLOOR AREA: 2,044 sq.ft. (PER UNIT 922 sq.ft.)
GARAGE AREA: 494 sq.ft. (PER UNIT 246 sq.ft.)
TOTAL AREA: 2,538 sq.ft.



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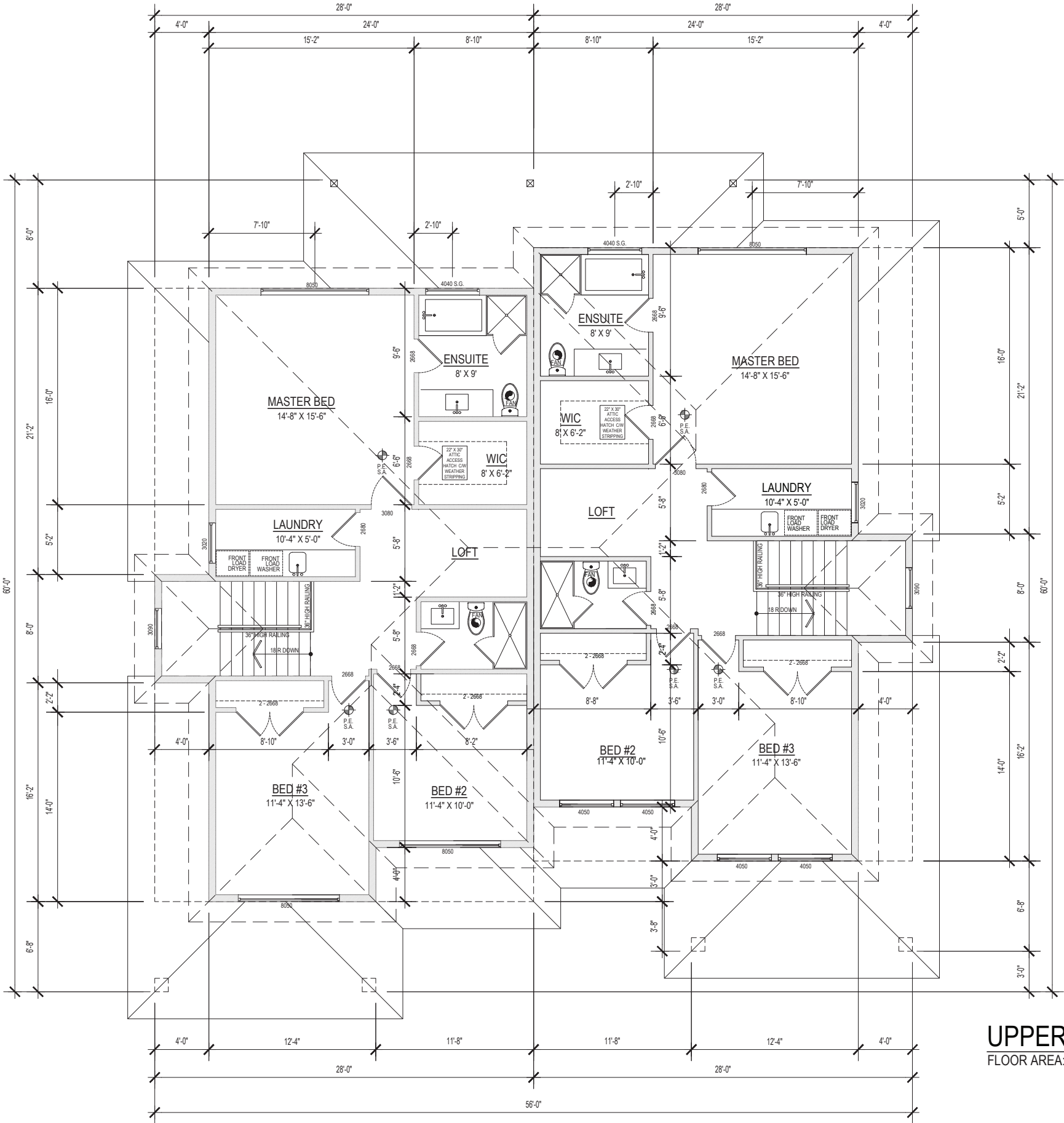
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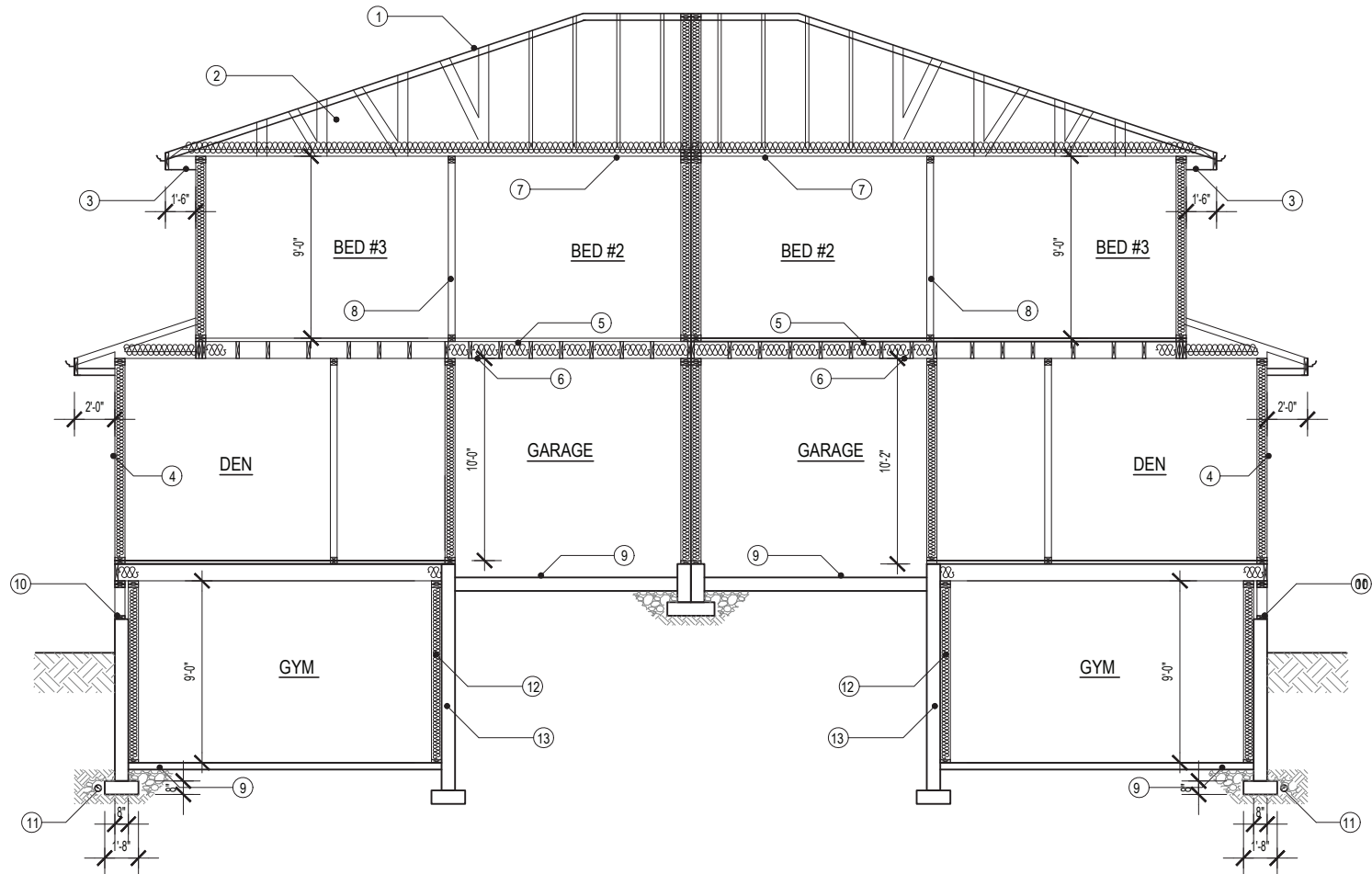
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UPPER FLOOR PLAN
FLOOR AREA: 2,000 sq.ft. (PER UNIT 1,000 sq.ft.)
78.80% VOLUME OF MAIN FLOOR



CROSS SECTION A-A

CROSS SECTION SCHEDULE

- 1 METAL ROOFING (AS PER BCBC 2012)
2-LAYERS OF 30 MIN. BUILDING PAPER
TO CONFORM TO CAN/CSG-51.34-M
3/8" THICK PLYWOOD SHEATHING PLACED WITH GRAIN
PERPENDICULAR TO ROOF FRAMING, STAGGERED.
CONTINUOUS VENTED ALUMINUM SOFFITS.

2 ATTIC SPACE
ROOF TYPE VENTS AT 1/300
UNIFORMLY AT OPPOSITE SIDES OF BUILDING.
CONTINUOUS RIBBED BAFFLE TO PREVENT
INSULATION FROM BLOCKING SOFFIT VENTS &
TO MAINTAIN 1" GAP FOR VENTILATION AIR TRAVEL.
R-40 "BLOWN" INSULATION AS PER B.C.B.C.
9.25.2.2
POLYETHYLENE SHEET CONTINUOUS TO
PREVENT AIR LEAKAGE FROM INSIDE BUILDING
OUT AND OUTSIDE BUILDING IN. LAP MIN 4"
AT JOINTS. TAPE OR SEAL AIR-TIGHT.
PROVIDE CONTINUOUS SEAL AT PENETRATIONS.
TO CONFORM TO CAN/CSG-51.33-M
TO PROTECT ENTIRE SURFACE. MAXIMUM
PERMEANCE=60ng(Pa S/m²)
MEASURED IN ACCORDANCE WITH
ASTM E 96 AS PER B.C.B.C. 9.25.4.

3 ALUMINUM GUTTERS, 2" X 12" ROUGH FASCIA,
CONTINUOUS VENTED ALUMINUM SOFFITS.
- 4 HARDIE BOARD SIDING, INCLUDING FLASHING AND
TRIM ACCESSORIES TO CONFORM TO
CAN/CSG-41.24. ATTACHMENT TO
CONFORM TO REQUIREMENTS IN
SUBSECTION B.C.B.C. 9.27.5.
WEATHER TREATED LUMBER
1" X 4" VERTICAL STRAPPING @ 16" O/C
TO PROVIDE 1" AIRSPACE BETWEEN
CLADDING AND SHEATHING MEMBRANE.
2-LAYERS OF 30 MIN. BUILDING PAPER
TO CONFORM TO CAN/CSG-51.33-M
7/16" O.S.B.
2" X 6" STUDS @ 16" C.C.
R-20 BATT INSULATION AS PER B.C.B.C.
9.25.2.2 UNIFORMLY OVER ENTIRE
FACE OF WALL. FULL WIDTH AND
LENGTH OF FRAMING, WITH ONE FACE
IN FULL CONTACT WITH SHEATHING
POLYETHYLENE SHEET CONTINUOUS TO
PREVENT AIR LEAKAGE FROM INSIDE BUILDING
OUT AND OUTSIDE BUILDING IN. LAP MIN 4"
AT JOINTS. TAPE OR SEAL AIR-TIGHT.
PROVIDE CONTINUOUS SEAL AT PENETRATIONS.
TO CONFORM TO CAN/CSG-51.33-M
TO PROTECT ENTIRE SURFACE. MAXIMUM
PERMEANCE=60ng(Pa S/m²)
MEASURED IN ACCORDANCE WITH
ASTM E 96 AS PER B.C.B.C. 9.25.4.
1/2" TYPE 'X' GYPSUM WALL BOARD
- 5 1 1/2" LIGHT WEIGHT CONCRETE
(FOR RADIANT HEATING)

6 FINISH FLOOR ON 5/8" T&G PLYWOOD,
T.J.I. JOIST (AS PER ENG) C/W BRIDGING,
1/2" GYP. BOARD ON THE CEILING.

7 5/8" GYP. BOARD ON CEILING.

8 2" X 4" @ 16" C.C., 1/2" GYP.
BOARD ON BOTH SIDES

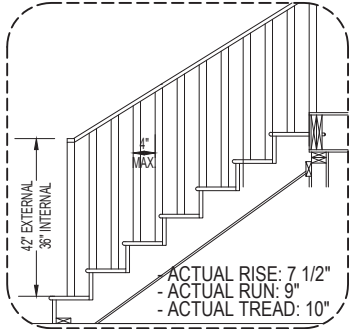
9 4" THICK BASEMENT SLAB (20 MPa CONCRETE),
CONTINUOUS POLYETHYLENE SHEET, LAP
MIN. 4" AT JOINTS. TAPE OR SEAL AIR-TIGHT.,
R-12 RIGID POLYSTYRENE INSULATION,
MINIMUM 8" GRANULAR MATERIAL
OR CRUSHED STONE (COMPACTED),
CALULING BEAD TO SEAL SLAB @ WALL
C/W EXPANSION JOINT.

10 1/2" ANCHOR BOLT @ 6' O/C,
2" X 6" WOOD SILL PLATE C/W MOISTURE BARRIER,
TYPE 'S' ROLL ROOFING SILL GASKET,
6" CONCRETE FOUNDATION

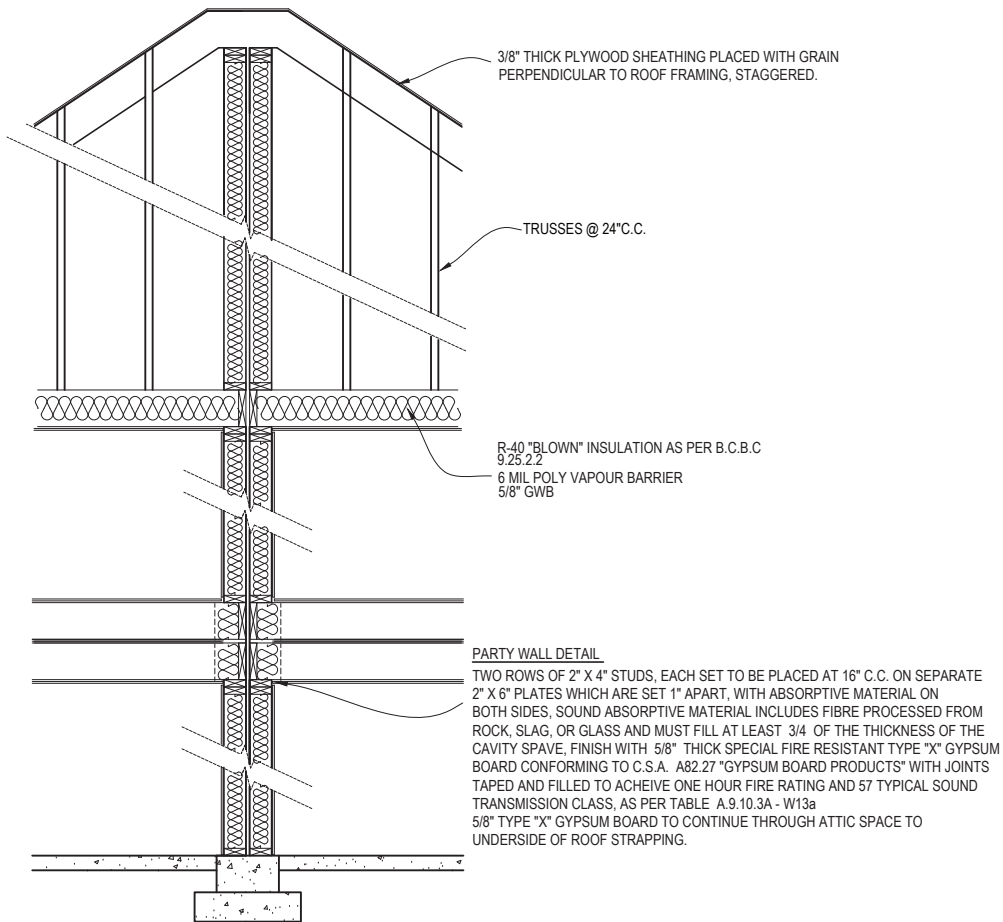
11 4" PERFORATED DRAINTILE TO CONFORM
TO CAN/GSA-B182.1 AS PER B.C.B.C. 9.14.3.1
WALL ON 16" X 8" FOOTING C/W 2 COATS OF ASPHALT.
INSTALLED AS PER B.C.B.C. 9.14.3.3
C/W MINIMUM 6" GRANULAR MATERIAL
OR CRUSHED STONE

12 FULL HEIGHT 2" X 6" STUD WALL CONSTRUCTION
COMPLETE WITH APPROVED R-20 INSULATION

13 8" CONCRETE FOUNDATION WALL
(HEIGHT VARIES ACCORDING TO GRADE)



STAIR DETAILS
SCALE: 1/2" = 1'-0"



PARTY WALL DETAIL
SCALE: 1/2" = 1'-0"



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B.C.B.C. ENERGY EFFICIENCY CHECKLIST

PERSCRIPTIVE METHOD (NO TRADE OFFS)
ZONE: 4

- HRV UNIT REQUIRED
- PROVIDE RIGID INSULATION BEHIND ELEC. METER EQUAL TO R VALUE REQ'D OF THE WALL
- HEATING SYSTEM TO MEET 92% EFFICIENCY REQUIREMENTS

GENERAL NOTES: [BCBC 9.32 TO 9.36]

AIR TIGHTNESS:

FOUNDATION TO SILL PLATE AND RIM JOISTS

ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL OR MAINTAINING THE CONTINUITY OF THE THE AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL

FOUNDATION TO SILL PLATE AND RIM JOISTS

INTERIOR WALL THAT MEET EXTERIOR WALLS OR CEILINGS WITH AN NTERIOR PLANE OF AIR TIGHTNESS MUST BE MADE AIRTIGHT BY EITHER SEALING ALL JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER SYSTEM THROUGH THE INTERIOR WALL

ALL JOINTS AT THE RIM JOIST ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

CANTILEVERED FLOORS:

CANTILEVERES FLOORS AND FLOORS OVER UNHEATED SPACES/ EXTERIOR SPACE MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL

WINDOW HEADS:

THE INTERFACE BETWEEN WINDOW HEAD/JAMB AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

WINDOW SILLS:

THE INTERFACE BETWEEN WINDOW HEAD/JAMB AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER IN THE WALL AND WINDOW. THE REQUIREMENT ALSO APPLIES TO DOORS AND SKYLIGHTS

MECHANICAL FULES AND CHIMNEYS:

STEEL-LINES CHIMNEYS THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY BLOCKING THE VOID BETWEEN REQUIRED CLEARANCES FOR METAL CHIMNEYS AND SURROUNDING SURROUNDING CONSTRUCTION WITH SHEET METAL AND SEALANT CAPABLE OF WITHSTANDING HIGH TEMPERATURES

PLUMBING STACKS:

PLUMBING VENT STACK PIPES THAT PENETRATE THE BUILDING ENVELOPE MUST BE MADE AIRTIGHT BY EITHER SEALING THE AIR BARRIER MATERIAL TO THE VENT STACK PIPE WITH A COMPATABLE MATERIAL OR SHEATHING TAPE, OR INSTALLING A RUBBER GASKET OR PREFABRICATED ROOF FLASHING AT THE PENETRATION TO THE VENT STACK PIPE WITH A J PENETRATION OF THE PLANE OF AIR TIGHTNESS AND SEALING IR TO THE TOP PLATE

SKYLIGHTS:

THE INTERFACE BETWEEN THE SKYLIGHT AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS KYLIGHT BETWEEN THE AIR BARRIER MATERIAL IN THE WALL AND THE SKYLIGHT

WALL TO CEILING:

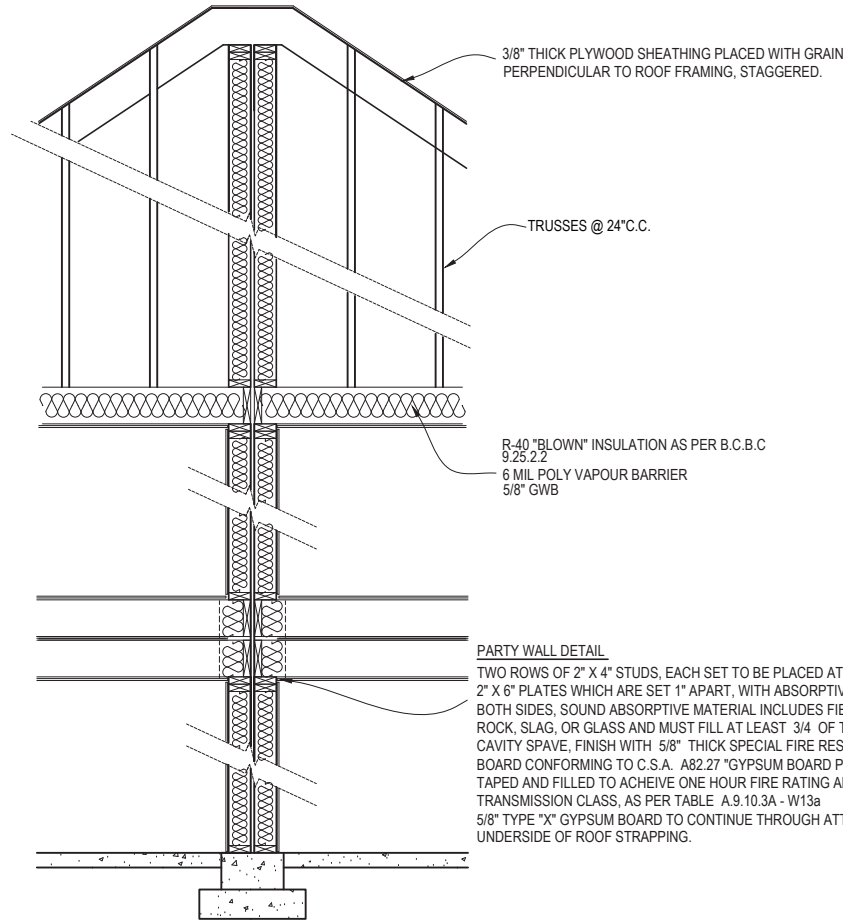
ALL JOINTS AT THE TRANSITION BETWEEN THE ABOVE GRADE WALL CEILING MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS AND/OR COVERING THE MATERIAL STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL

WALL VENTED DUCTS

DUCT PENETRATION THROUGH THE BUILDING ENVELOPE MUST HAVE AN AIRTIGHT SEAL

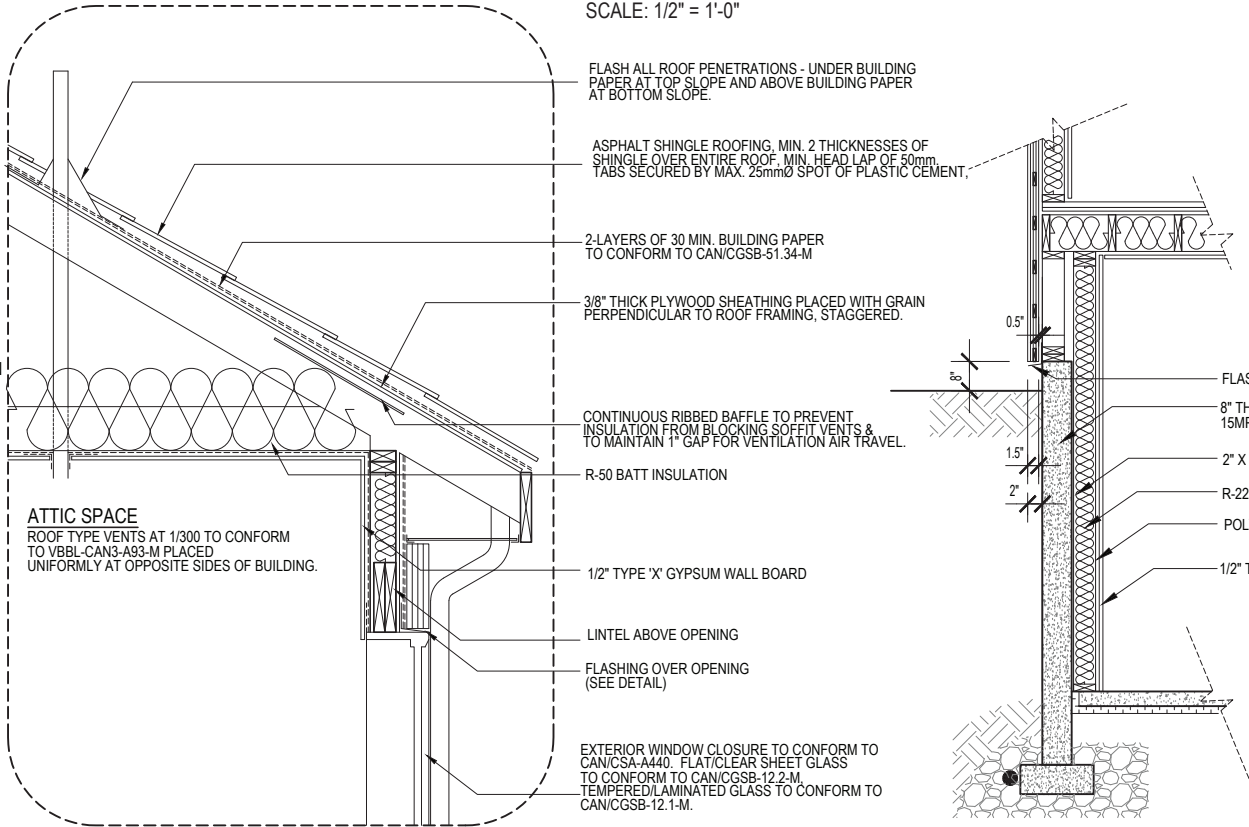
ELECTRICAL PENETRATIONS IN WALL

ELECTRICAL PENETRATIONS IN WALLS, INCLUDING ELECTRICAL OUTLETS, WIRING, SWITCHES, AND RECESSED FIXTURES THROUGH THE PLANE OF AIRTIGHTNESS MUST BE AIRTIGHT. OPTIONS INCLUDE USING A COMPONENT THAT IS DESIGNED TO BE ARITIGHT AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL OR BY COVERING THE COMPONENT WITH AN AIR BARRIER MATERIAL AND SEALING IT TO THE ADJACENT AIR BARRIER MATERIAL



PARTY WALL DETAIL

SCALE: 1/2" = 1'-0"



TRUSS ROOF/EXT WINDOW ASSEMBLY

SCALE: 1" = 1'-0"

REQUIRED MIN. EFFECTIVE THERMAL RESISTANCE OF ASSEMBLIES

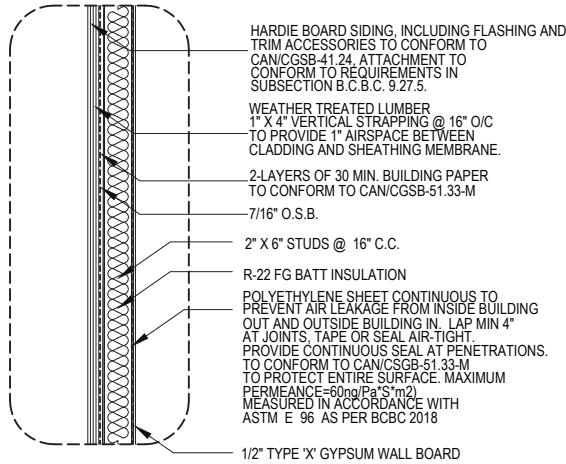
(TABLE 9.36.2.6 A&B OF BCBC)

	RSI VALUES (m2 K)/W	R VALUES (h ft2 °F)/Btu
CEILINGS BELOW ATTIC	6.91	39.2
VAULTED CEILINGS AND FLAT ROOF	4.67	26.5
EXTERIOR WALLS (ADJACENT TO UNCONDITIONAL SPACE)	2.78	15.8
FLOORS (ADJACENT TO UNCONDITIONAL SPACE)	4.67	26.5
FOUNDATION WALLS	1.99	11.3
HEATED FLOOR SLABS	2.32	13.2
UNHEATED FLOOR SLABS	1.96	11.1
GARAGE DOORS (HEATED GARAGE)	1.10	6.25
ACCESS HATCHES	2.60	14.76

REQUIRED MAX. THERMAL CHARACTERISTICS

(TABLE 9.36.2.7 A&B OF BCBC)

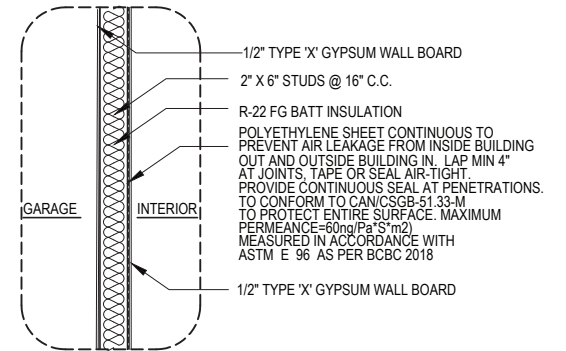
	U VALUES W/m2 K	U VALUES Btu/(H ft2 °F)
WINDOWS AND DOORS	0.32	1.80
SKYLIGHT	0.51	2.90
GLASS BLOCK	0.51	2.90
FRONT DOOR	0.46	2.60



ABOVE GRADE WALL ASSEMBLY

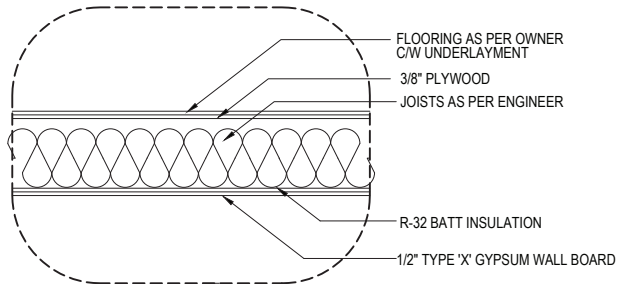
SCALE: 1" = 1'-0"

(NOTE: NEEDS TO BE STRUCTURALLY SUPPORTED RATHER THAN BETWEEN STRUCTURAL COMPONENTS)



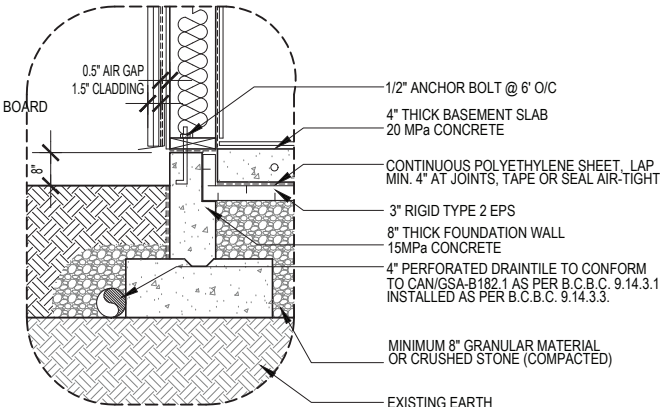
WALL ASSEMBLY AT GARAGE WALL

SCALE: 1" = 1'-0"



FLOORS ABOVE UNCONDITIONED SPACE ASSEMBLY

SCALE: 1" = 1'-0"



HEATED SLAB EDGE INSULATION DETAIL

SCALE: 1" = 1'-0"



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f: 6045971350
dmand@telus.net
www.dmanddesign.com

THESE PLANS CONFORM TO BCBC 2018

CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND LOCAL BUILDING BY-LAWS.

CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER RESPONSIBILITY TO REVIEW AND VERIFY ALL LEVELS, DIMENSIONS AND STRUCTURAL ADEQUACIES PRIOR TO CONSTRUCTION

DO NOT SCALE DRAWINGS

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3.	
2.	
1.	
REVISIONS:	

JOB DESCRIPTION:

-

-

ADDRESS:

19343 1198 Avenue
PITT MEADOWS, B.C.

LEGAL DESCRIPTION:

Lot 59 DL 283 G. 1
NWD Plan 37782

PID :

CLIENT:

DATE:

REV OCT 2024

SCALE:

1/4"=1'-0" (UNO)

DRAWN:

HARP

CHECKED:

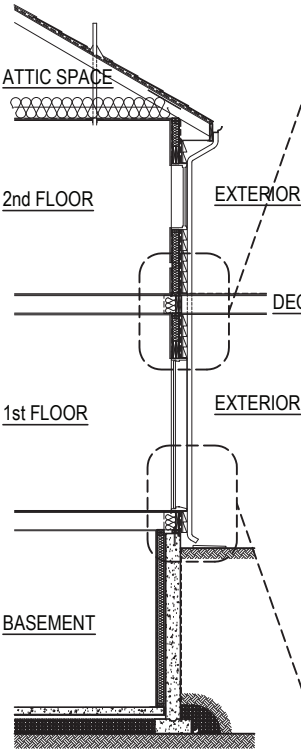
D.M.

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LANDING TO BE MOUNTED TO A LEDGER BOARD TO ALLOW FOR A CONTINUOUS VAPOUR BARRIER INSTALLATION

STAIR LANDING AT EXT. WALL

SCALE: 2" = 1'-0"



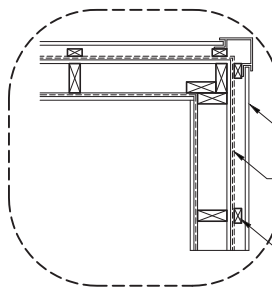
EXT. WALL SECTION

SCALE: 1/4" = 1'-0"



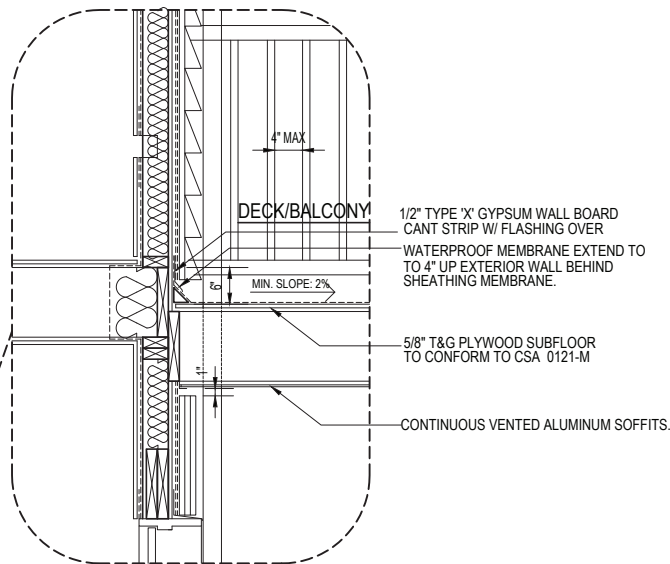
BEAM AT EXT. WALL

SCALE: 2" = 1'-0"



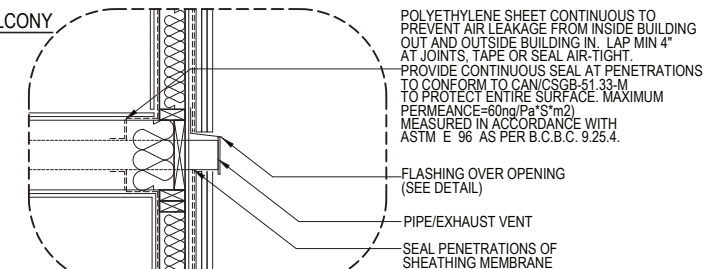
EXTERIOR CORNER

SCALE: 1" = 1'-0"



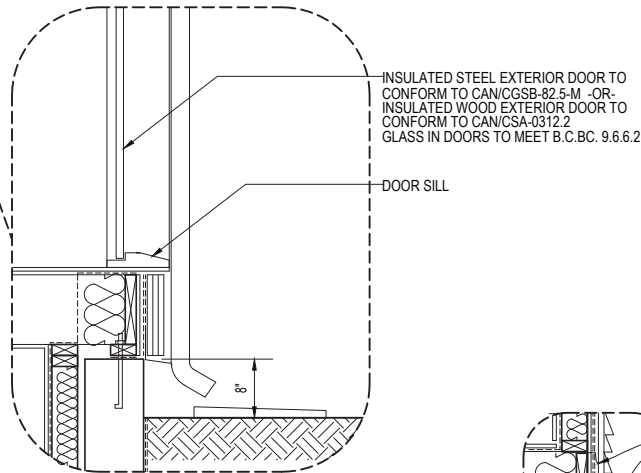
EXT. WALL/DECK ASSEMBLY

SCALE: 1" = 1'-0"



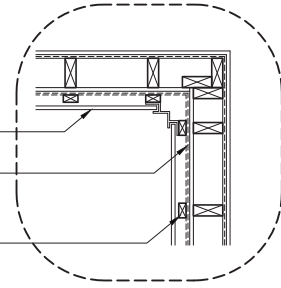
WALL PENETRATIONS

SCALE: 1" = 1'-0"



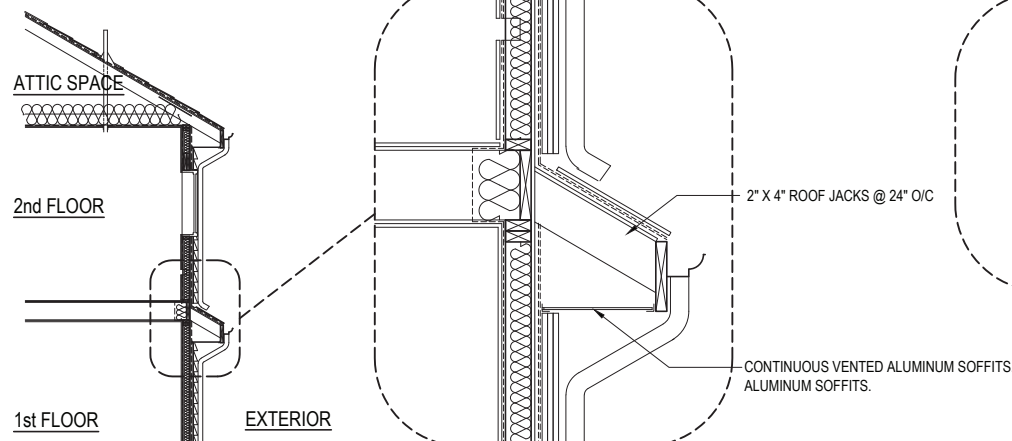
EXT. DOOR/FDN WALL ASSEMBLY

SCALE: 1" = 1'-0"



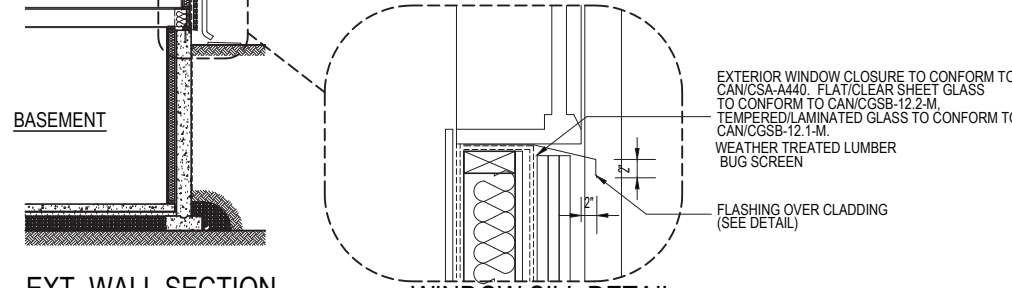
INTERIOR CORNER

SCALE: 1" = 1'-0"



EXT. WALL/LOW-ROOF ASSEMBLY

SCALE: 1" = 1'-0"

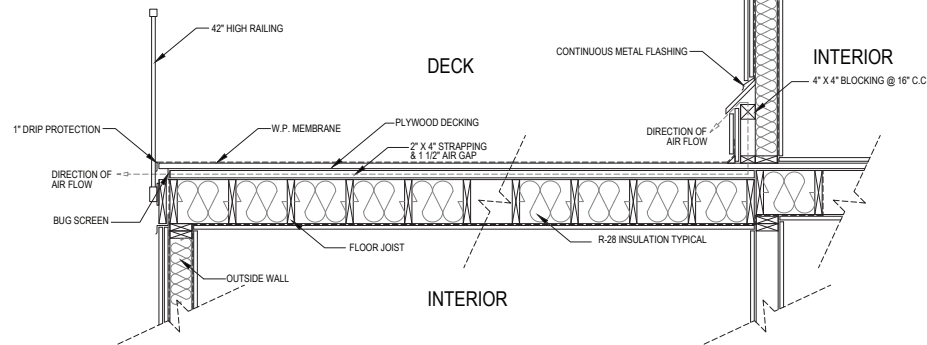


EXT. WALL SECTION

SCALE: 1/4" = 1'-0"

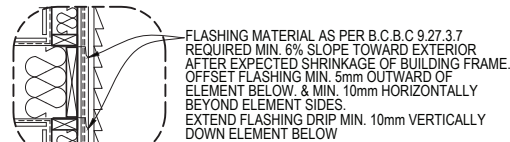
WINDOW SILL DETAIL

SCALE: 2" = 1'-0"



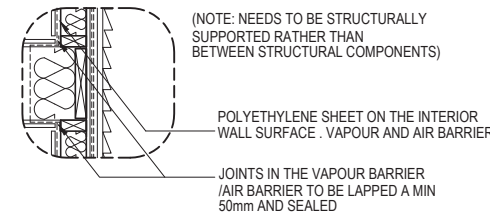
INSULATION VENT DETAIL FOR COVERED DECK

SCALE: 1/2" = 1'-0"



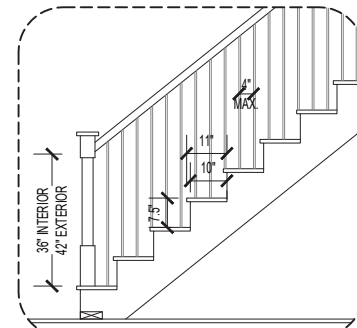
THRU-WALL FLASHING

SCALE: 2" = 1'-0"



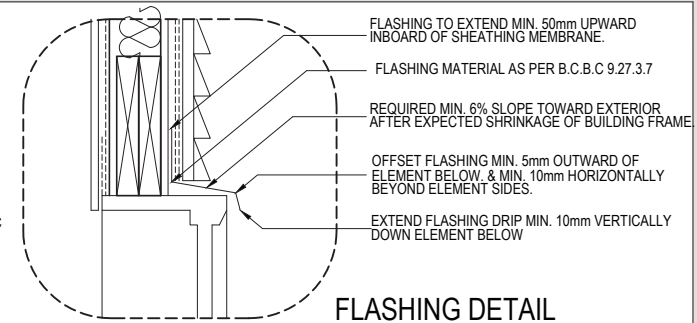
AIR/VAPOUR BARRIER AROUND RIM JOISTS

SCALE: 2" = 1'-0"



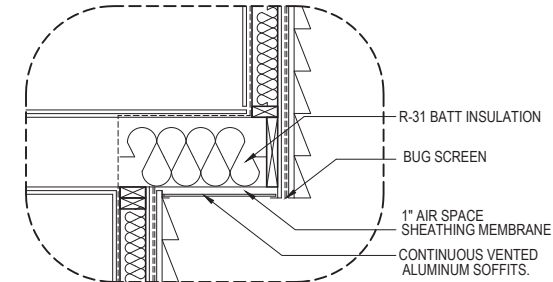
STAIR DETAILS

SCALE: 1/2" = 1'-0"



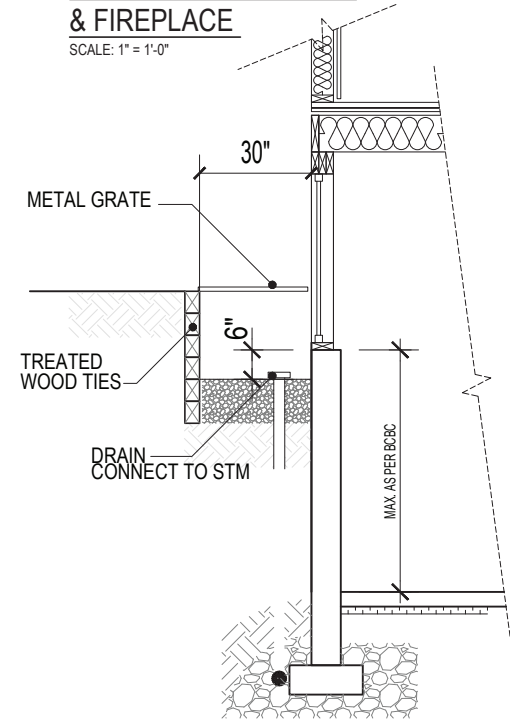
FLASHING DETAIL

SCALE: 2" = 1'-0"



CANTILEVERED FLOOR & FIREPLACE

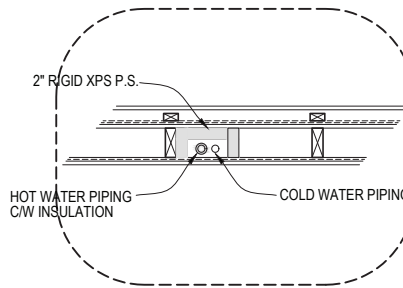
SCALE: 1" = 1'-0"



CROSS SECTION

WINDOW WELL

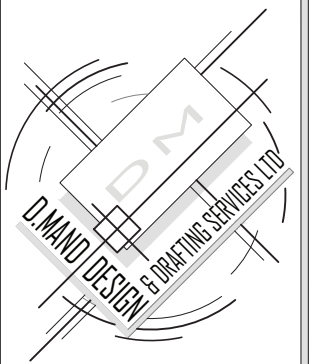
SCALE: 1/2" = 1'-0"



WATER PIPES IN EXTERIOR WALLS

NOTE: NO DRAINAGE OR VENTING PIPES FOR PLUMBING LARGER THAN 1 1/2" TO BE

SCALE: 1" = 1'-0"



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LEGAL DESCRIPTION:
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D.M.

9