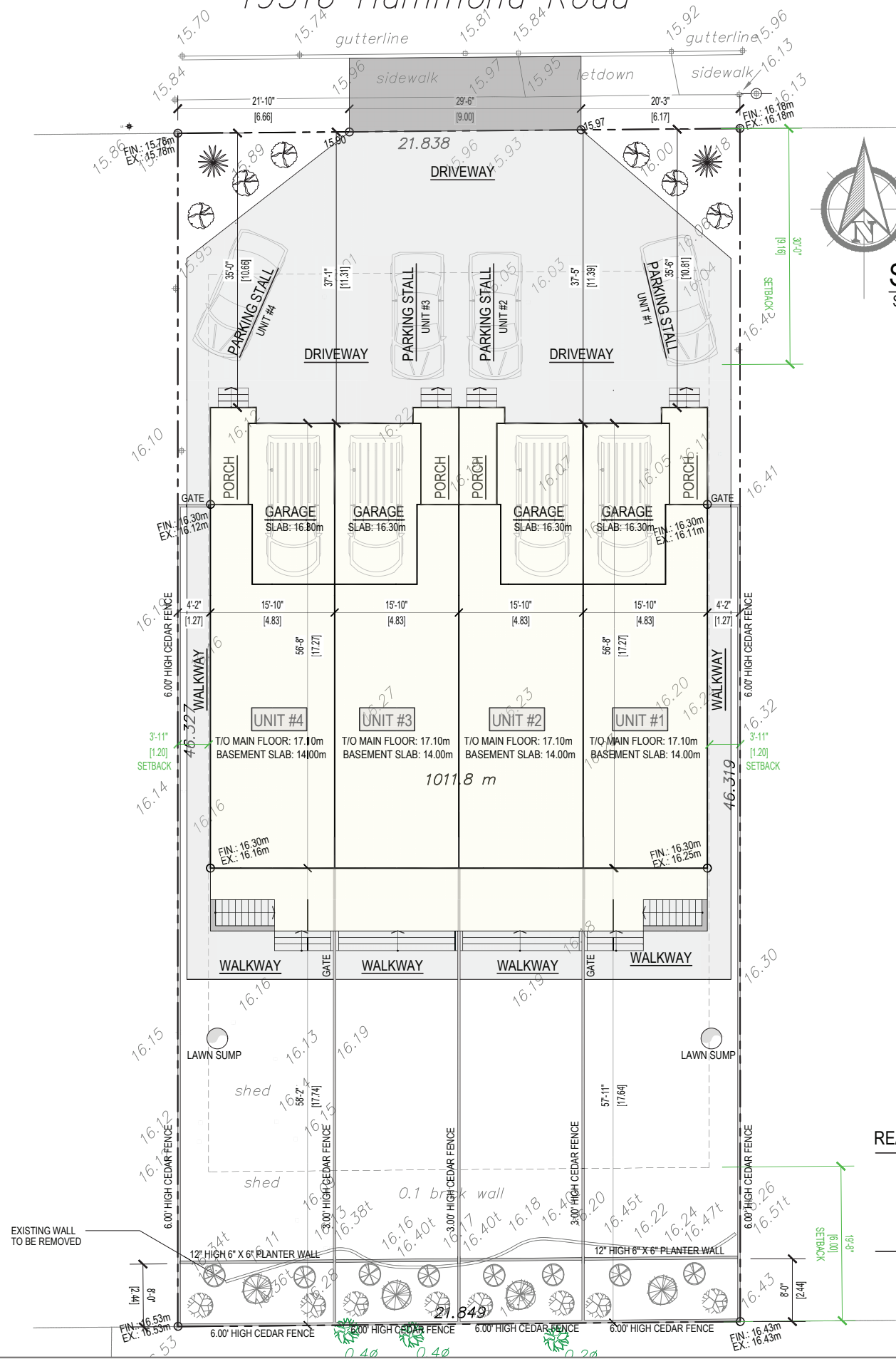


19516 Hammond Road



FRONT YARD TREE LIST

- PAPERBACK MAPLE
- GOLDMOUND SPIREA

SITE PLAN

SCALE: 1/8" = 1'-0"

REAR YARD TREE LIST

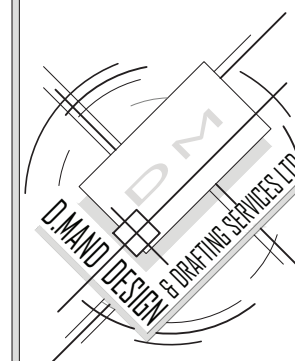
- DOGWOOD TREE
- RHODODENDRON
- HOSTA

CALCULATIONS : R-6 ZONING

LOT SIZE:	10,891 sq.ft.
LOT COVERAGE:	
PERMITTED:	5,446 sq.ft. [50.00%]
PROPOSED:	4,502 sq.ft.
<hr/>	
FLOOR AREA:	
PERMITTED:	8,712 sq.ft. [80.00%]
PROPOSED:	8,380 sq.ft. (2,095 sq.ft. EACH UNIT)
<hr/>	
GARAGE AREA:	
PERMITTED:	1,076 sq.ft. (269 sq.ft. EACH UNIT)
PROPOSED:	880 sq.ft. (220 sq.ft. EACH UNIT)
<hr/>	
RESIDENTIAL STORAGE AREA:	
PERMITTED:	172 sq.ft. (43 sq.ft. EACH UNIT)
PROPOSED:	0 sq.ft. (0 sq.ft. EACH UNIT)
<hr/>	
IMPERVIOUS AREA:	
PERMITTED:	7,623 sq.ft. [70.00%]
PROPOSED:	7,170 sq.ft.

BREAK DOWN OF FLOOR AREAS:

UNIT #	MAIN FLOOR :	UPPER FLOOR:	TOTAL
UNIT #1	624 sq.ft.	847 sq.ft.	2,095 sq.ft.
	BASEMENT FLOOR: 691 sq.ft.		
UNIT #2	624 sq.ft.	847 sq.ft.	2,095 sq.ft.
	BASEMENT FLOOR: 691 sq.ft.		
UNIT #3	624 sq.ft.	847 sq.ft.	2,095 sq.ft.
	BASEMENT FLOOR: 691 sq.ft.		
UNIT #4	624 sq.ft.	847 sq.ft.	2,095 sq.ft.
	BASEMENT FLOOR: 691 sq.ft.		
<b>GROSS FLOOR AREA:</b>			<b>9,528 sq.ft.</b>



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f: 6045971350  
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DO NOT SCALE DRAWINGS  
\*\*BUILDERS NOTES:  
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**5 UNIT PROPOSAL**

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LEGAL DESCRIPTION:  
**LOT 4  
D.L. 282 GP 1  
NWD PLAN 19441**

PID:010-486-950

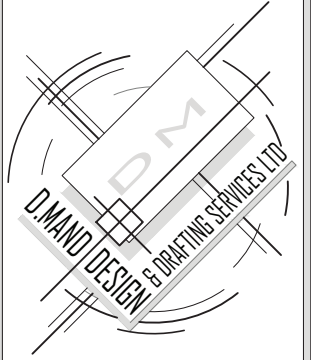
CLIENT:  
**PCL HOMES**

DATE:  
**SEPT 2024**

SCALE:  
**1/4"=1'-0" (UND)**

DRAWN: **HARP** CHECKED: **D.M.**

PROPOSED BUILDING IS SPRINKLERED



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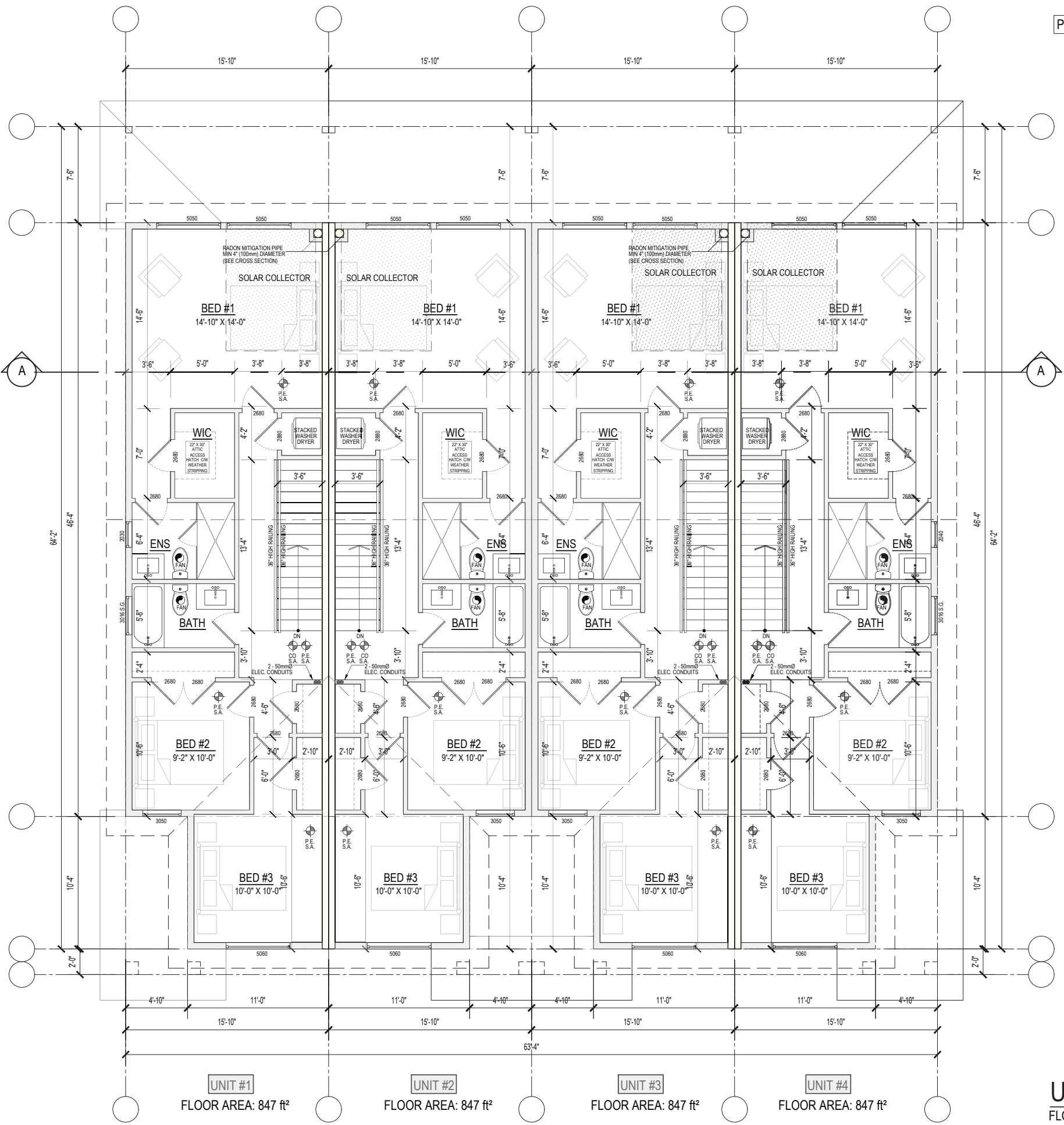
DATE:  
SEPT 2024

SCALE:  
1/4"=1'-0" (UND)

DRAWN:  
HARP

CHECKED:  
D.M.

**4**



**UNIT #1**  
FLOOR AREA: 847 ft<sup>2</sup>

**UNIT #2**  
FLOOR AREA: 847 ft<sup>2</sup>

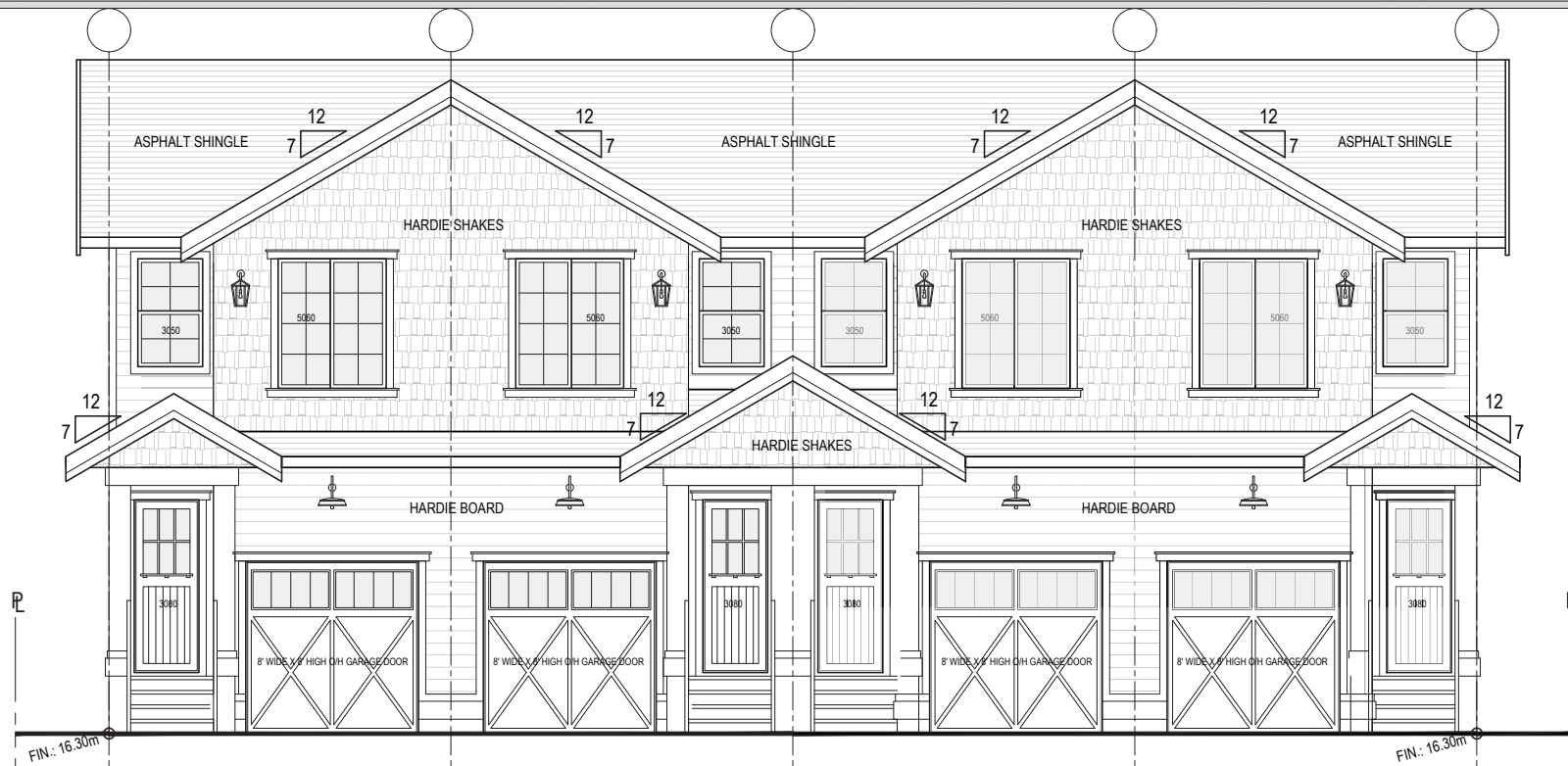
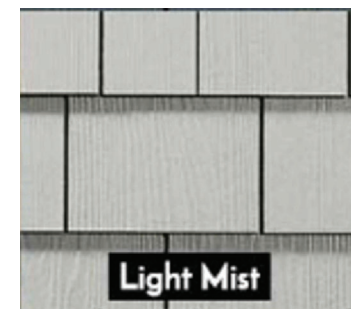
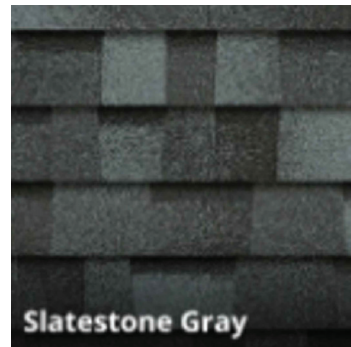
**UNIT #3**  
FLOOR AREA: 847 ft<sup>2</sup>

**UNIT #4**  
FLOOR AREA: 847 ft<sup>2</sup>

**UPPER FLOOR PLAN**  
FLOOR AREA: 3,388 ft<sup>2</sup>

# MATERIALS/COLOURS

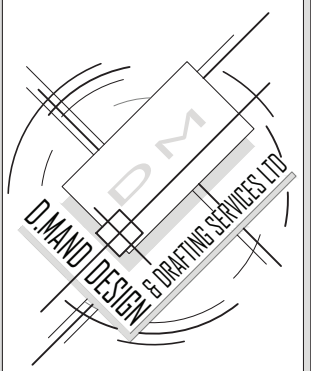
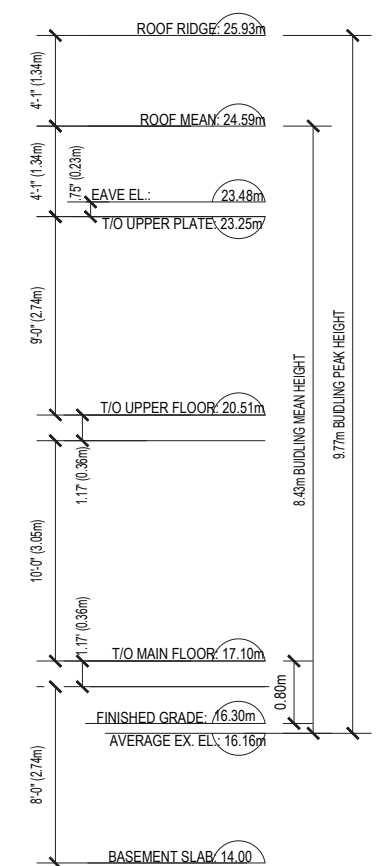
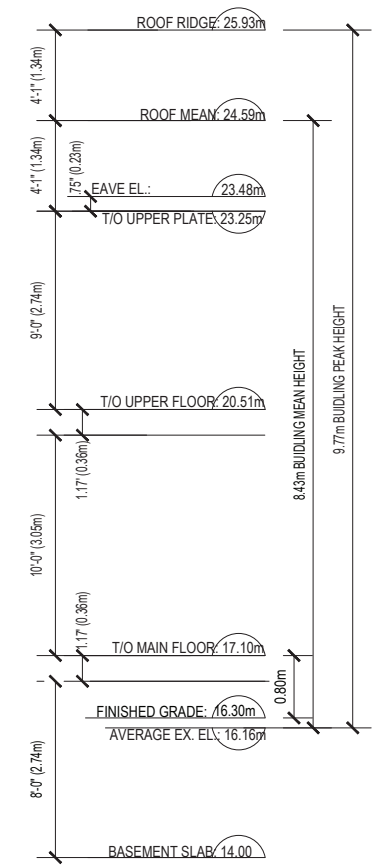
ITEM	COLOUR
ASPHALT SHINGLE ROOF	SLATESTONE GREY
TRIM	SHERWIN WILLIAMS TRICORN BLACK SW6258
GUTTERS /DOWNPIPES	SOLID BLACK
HARDIE SHAKES	KHAKI BROWN
HARDIE BOARD	LIGHT MIST
FRONT DOOR	SHERWIN WILLIAMS TRICORN BLACK SW6258
GARAGE DOOR	SHERWIN WILLIAMS TRICORN BLACK SW6258
METAL FLASHING	SOLID BLACK
GUARDS/RAILING	SOLID BLACK



**NORTH ELEVATION**



**SOUTH ELEVATION**



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DATE:  
**SEPT 2024**

SCALE:  
**1/4"=1'-0" (UND)**

DRAWN:  
**HARP**

CHECKED:  
**D.M.**

**2**

# GENERAL NOTES:

THESE DRAWINGS HAVE BEEN PREPARED BY D.MAND DESIGN AND DRAFTING SERVICES LTD. TO CONFORM TO CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C. 2024). THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO PROVINCIAL AND LOCAL BUILDING CODES AND BY-LAWS.

IT IS THE RESPONSIBILITY OF THE BUILDER/FRAMER TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO OUR ATTENTION IMMEDIATELY SO THAT CORRECTIONS CAN BE MADE AND PLANS REPLACED. DESIGNER IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.

DIMENSIONS TAKE PRECEDENCE TO SCALE DRAWINGS, DO NOT SCALE THESE DRAWINGS.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURERS INSTRUCTIONS IN A TIMELY MANNER.

STRUCTURAL FRAMING MATERIALS ARE TO BE:

- JOISTS: DOUGLAS FIR #2 OR BETTER.
- LINTELS: DOUGLAS FIR #2 OR BETTER.
- BEAMS: DOUGLAS FIR #2 OR BETTER.
- HEADERS: DOUGLAS FIR #2 OR BETTER.
- RAFTERS: DOUGLAS FIR #2 OR BETTER.
- PLATES: DOUGLAS FIR OR SPF #2 OR BETTER.
- STUDS: DOUGLAS FIR OR SPF STUD GRADE.

UNLESS OTHERWISE STATED. APPLICATION OF MATERIALS MUST CONFORM TO THE TABLES PROVIDED IN THE B.C.B.C. RESIDENTIAL STANDARDS AND THE SPAN BOOK CURRENT EDITION.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A SILL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6'-0" ON CENTER, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 45LB. FELT, SILL GASKET OR OTHER APPROVED METHODS.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.

FLOOR JOISTS SPANNING MORE THAN 7'-0" ARE TO BE BRIDGED AT MID SPAN OR AT 7'-0" O.C. BY 2" X 2" DIAGONAL BRACING. ALL SUBFLOORS TO BE 5/8" T&G PLYWOOD, GLUED AND NAILED TO FLOOR JOISTS.

PARTITION WALL PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY A SINGLE JOIST OR BLOCKING BETWEEN JOISTS. PARTITION WALLS, SUPPORTING KITCHEN CABINETS, PARALLEL TO FLOOR JOISTS SHALL BE SUPPORTED BY DOUBLE JOISTS.

ALL LINTELS TO BE 2 - 2" X 10" DOUGLAS FIR #2 OR BETTER, UNLESS OTHERWISE STATED, AND SHALL BE SUPPORTED ON A MINIMUM 2" BEARING.

BUILDER TO CHECK SNOW LOAD AND RAIN LOAD GUIDELINES FOR THEIR MUNICIPALITY PRIOR TO CONSTRUCTION.

ROOF SPACE SHALL BE VENTED WITH ROOF TYPE, EAWE TYPE, AND/OR GABLE TYPE VENTS TO A MINIMUM OF 1:300 OF THE INSULATED CEILING AREA. ROOF JOISTS VENTED TO MINIMUM 1:150.

CRAWLSPACES SHALL BE VENTED TO A MINIMUM OF 1:500. VENTS SHALL BE UNIFORMLY PLACED AROUND THE BUILDING. CRAWLSPACES MAY ALSO BE HEATED BY A FORCED AIR HEATING SYSTEM OR VENTS TO AN ADJACENT BASEMENT.

MINIMUM INSULATION REQUIREMENTS:

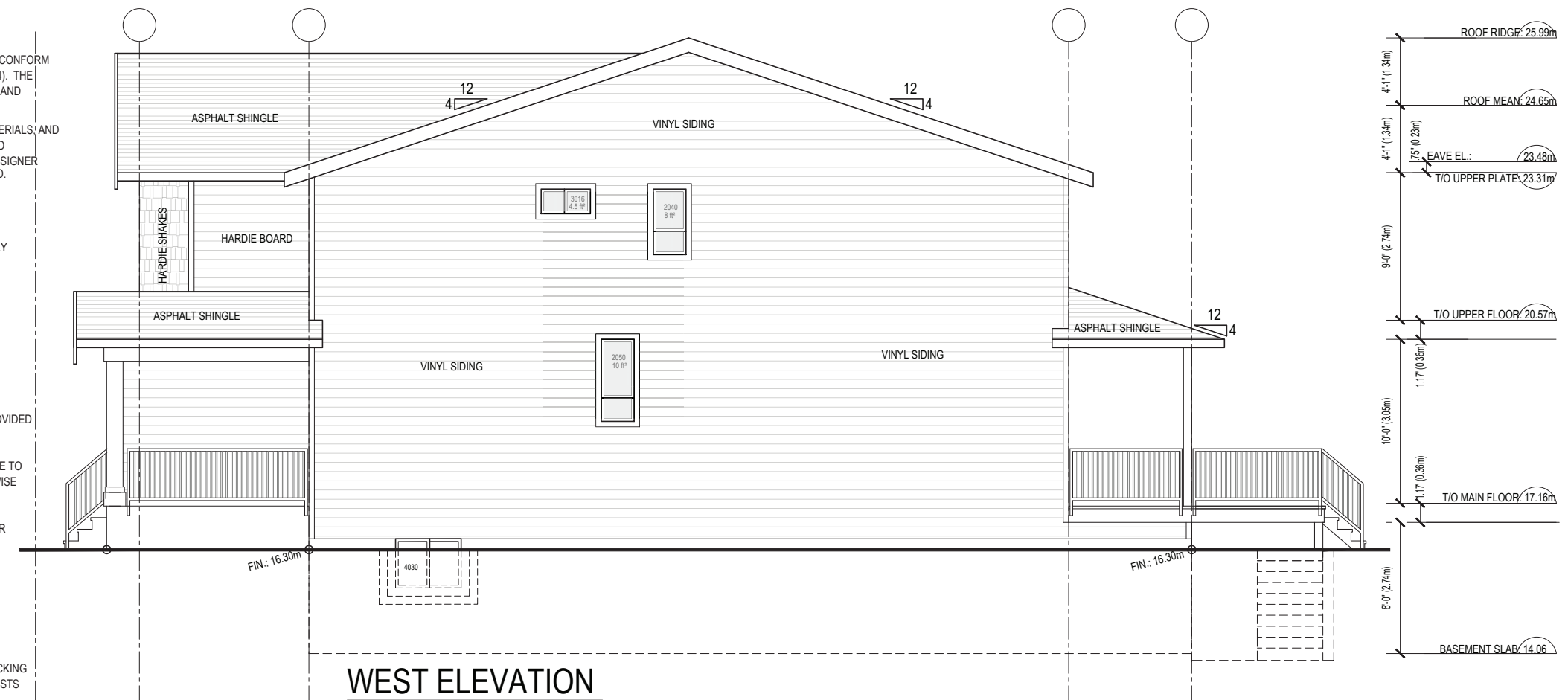
- FOUNDATION WALL: R-12
  - ROOF: R-40
  - 2" X 4" WALLS: R-14
  - 2" X 6" WALLS: R-20
  - CANTILEVERED FLOORS, CEILINGS AND DECKS ABOVE FLOORS: R-28
- WITH 6MIL POLY VAPOUR BARRIER INSTALLED ON THE WARM SIDE OF THE INSULATION.

CEILING INSULATION SHALL BE INSTALLED SO AS NOT TO RESTRICT AIR FLOW THROUGH ROOF VENTS TO ATTIC SPACES.

ATTIC SPACES AND CRAWLSPACES TO HAVE A MINIMUM 20" X 32" ACCESS HATCHWAY, WEATHERSTRIPPED

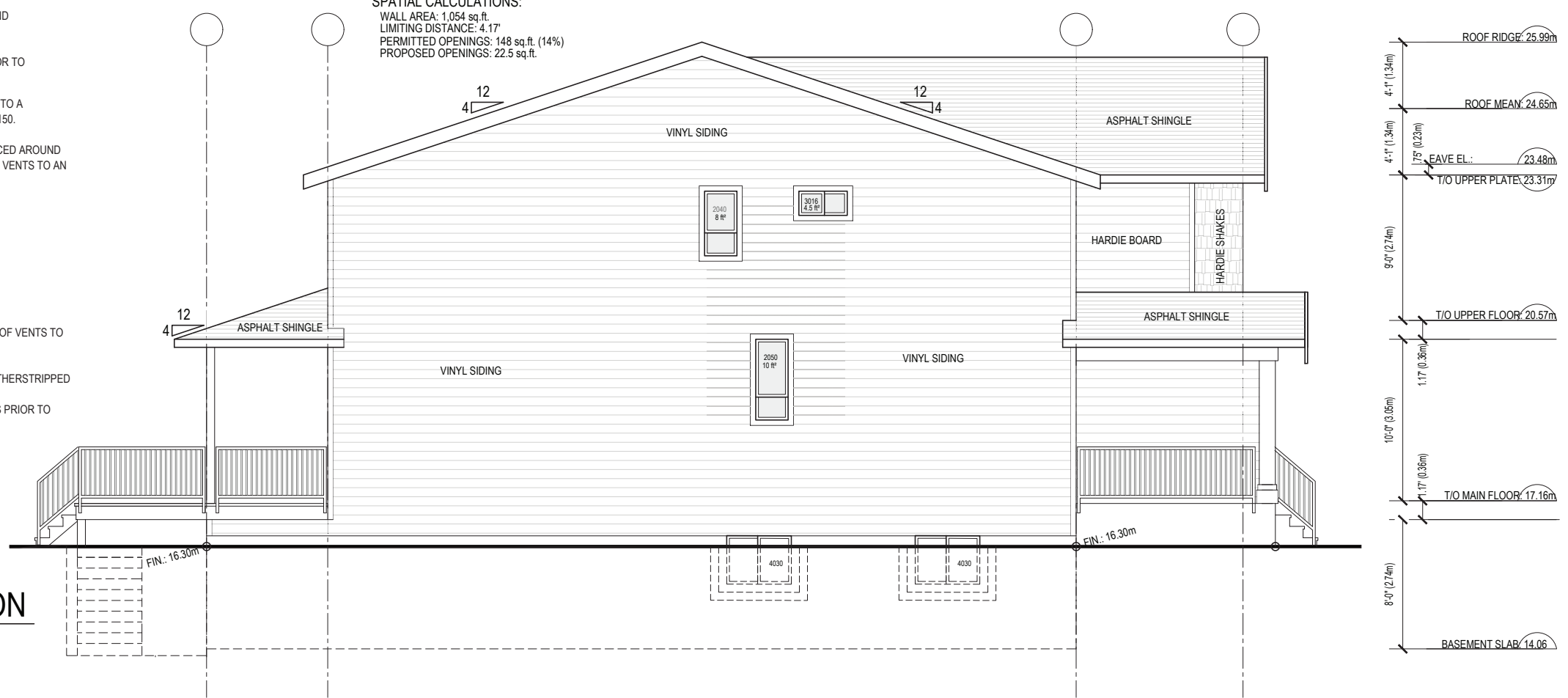
PROVIDE A COPY OF SIGNED AND SEALED ROOF TRUSS SHOP DRAWINGS & SPECIFICATIONS PRIOR TO FRAMING INSPECTION.

REMOVING WEB MEMBERS, DRILLING OR CUTTING CHORDS WILL NOT BE PERMITTED.



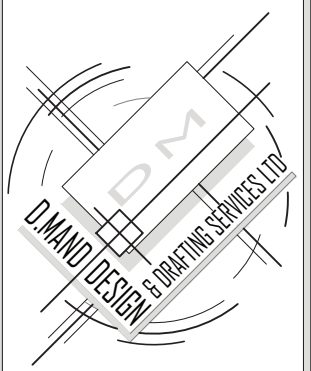
## WEST ELEVATION

**SPATIAL CALCULATIONS:**  
 WALL AREA: 1,054 sq.ft.  
 LIMITING DISTANCE: 4.17'  
 PERMITTED OPENINGS: 148 sq.ft. (14%)  
 PROPOSED OPENINGS: 22.5 sq.ft.



## EAST ELEVATION

**SPATIAL CALCULATIONS:**  
 WALL AREA: 1,054 sq.ft.  
 LIMITING DISTANCE: 4.17'  
 PERMITTED OPENINGS: 148 sq.ft. (14%)  
 PROPOSED OPENINGS: 22.5 sq.ft.



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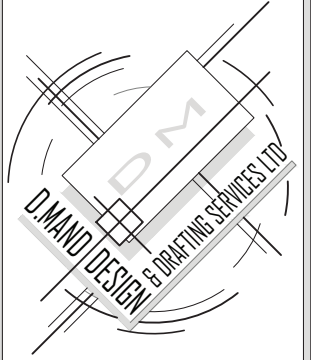
DATE:  
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SCALE:  
**1/4"=1'-0" (UND)**

DRAWN: **HARP** CHECKED: **D.M.**

**3**

PROPOSED BUILDING IS SPRINKLERED



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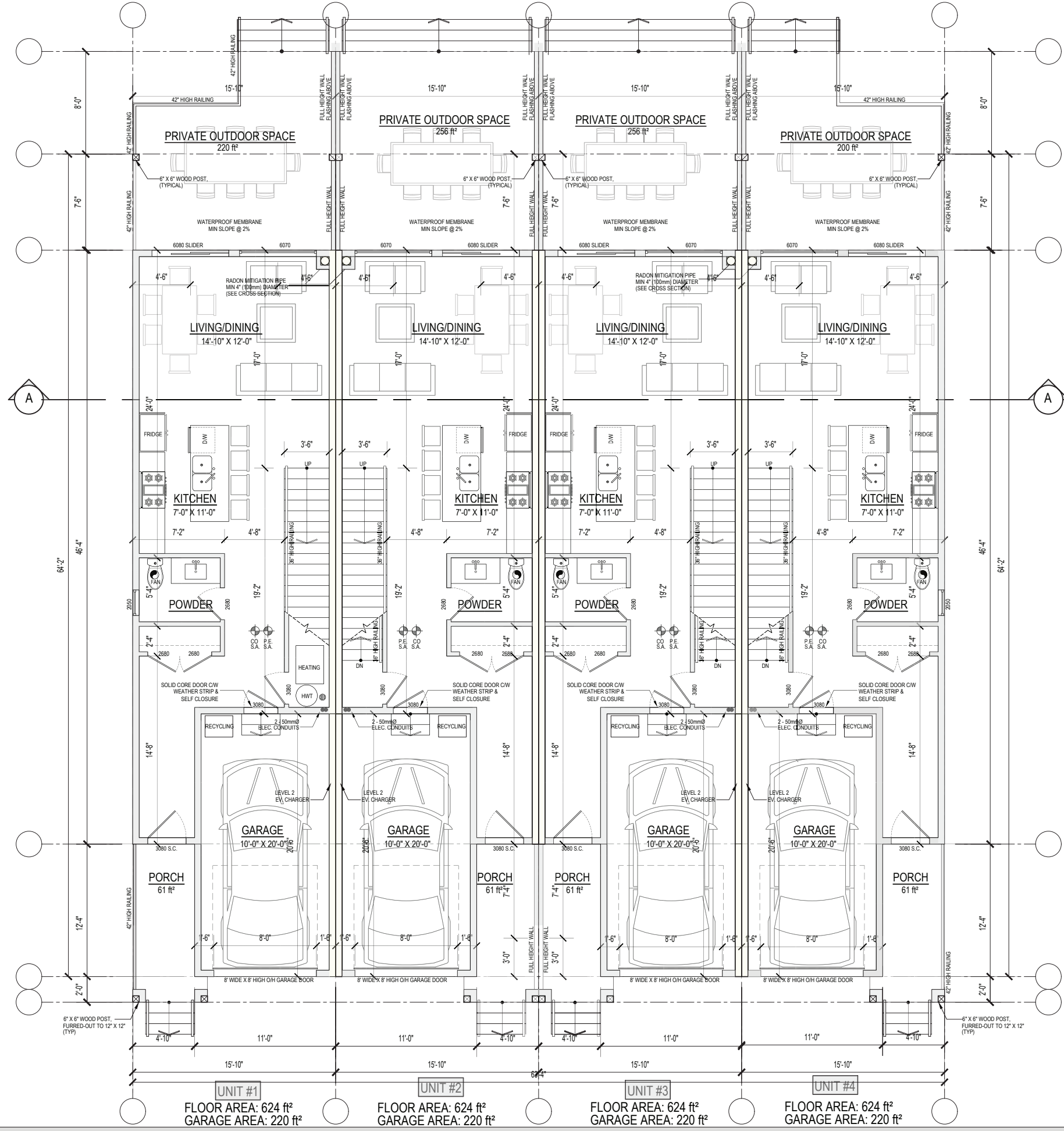
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DRAWN:  
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CHECKED:  
D.M.

**5**



### MAIN FLOOR PLAN

FLOOR AREA: 2,496 ft<sup>2</sup>  
GARAGE AREA: 880 ft<sup>2</sup>

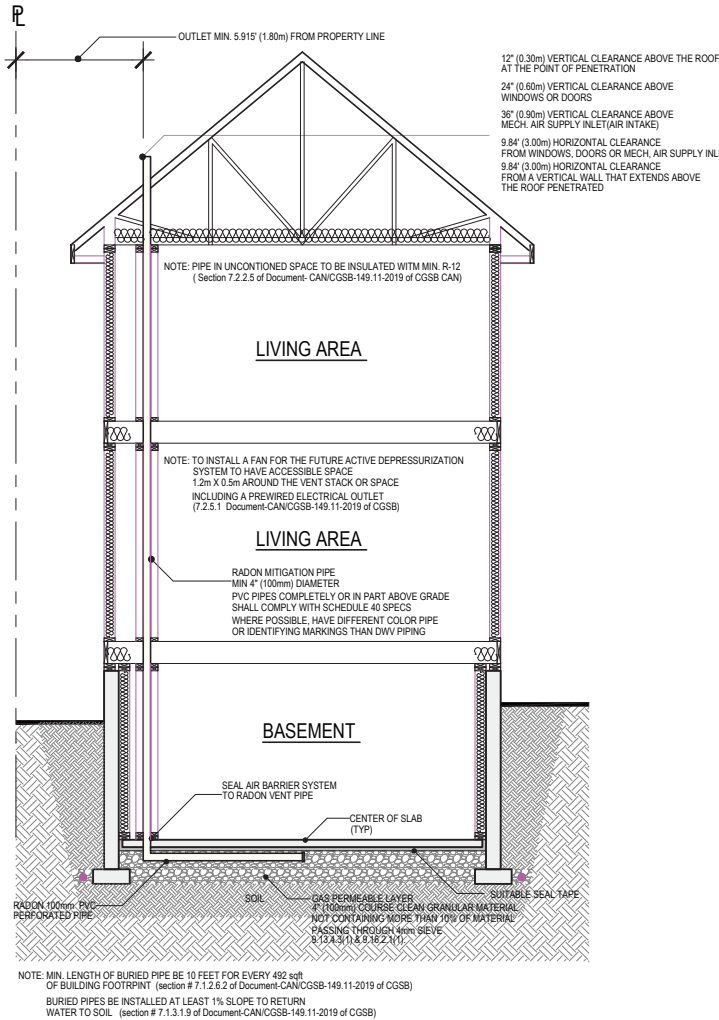
**UNIT #1**  
FLOOR AREA: 624 ft<sup>2</sup>  
GARAGE AREA: 220 ft<sup>2</sup>

**UNIT #2**  
FLOOR AREA: 624 ft<sup>2</sup>  
GARAGE AREA: 220 ft<sup>2</sup>

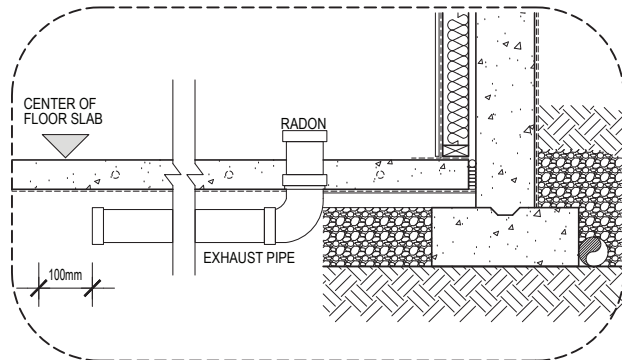
**UNIT #3**  
FLOOR AREA: 624 ft<sup>2</sup>  
GARAGE AREA: 220 ft<sup>2</sup>

**UNIT #4**  
FLOOR AREA: 624 ft<sup>2</sup>  
GARAGE AREA: 220 ft<sup>2</sup>

PROPOSED BUILDING IS SPRINKLERED



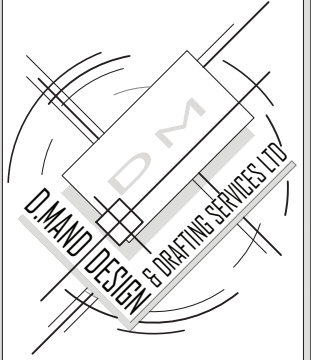
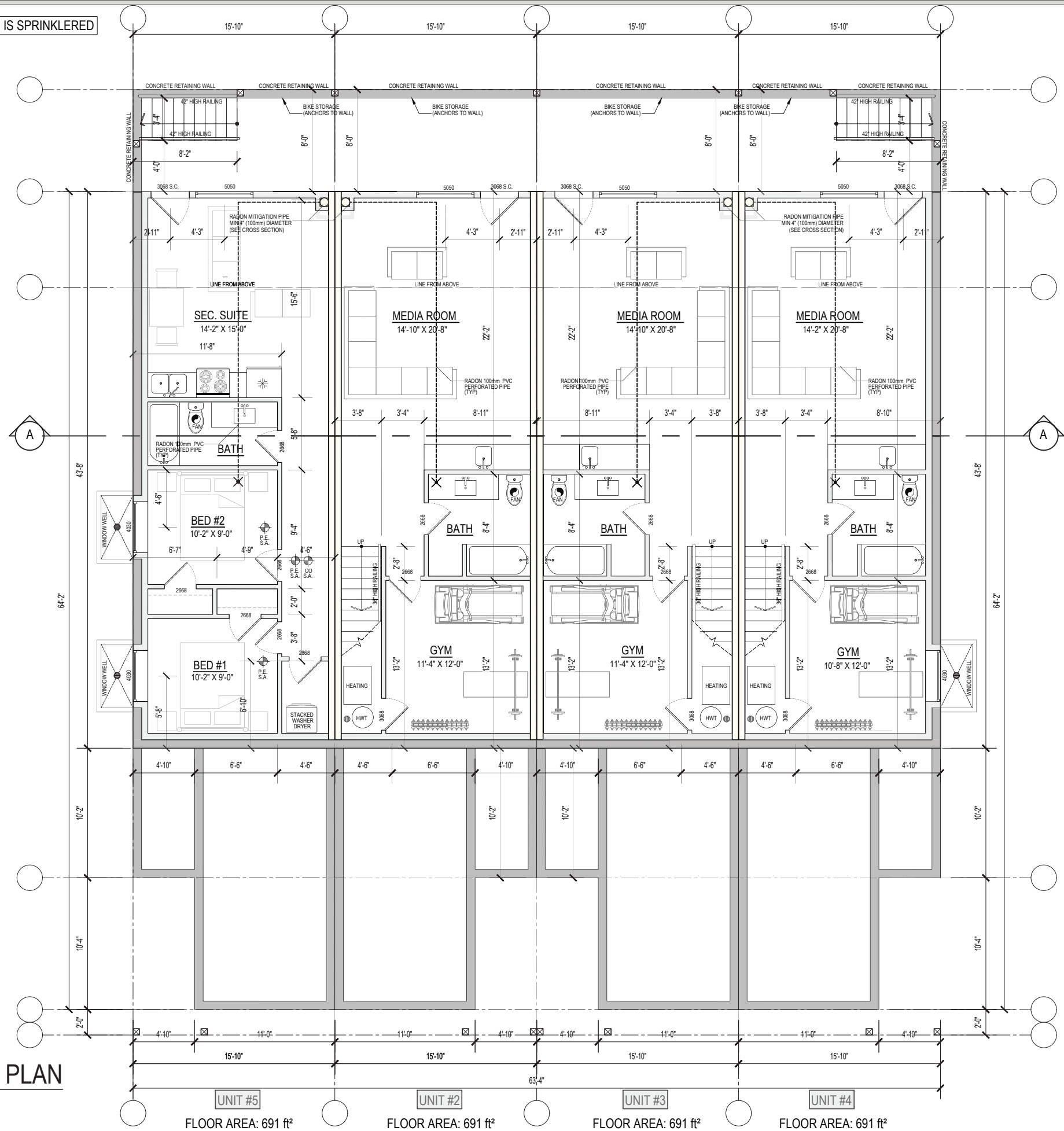
**RADON MITIGATION CROSS SECTION**



**RADON CONTROL BCBC 9.13.4.3**

**BASEMENT FLOOR PLAN**

FLOOR AREA: 2,764 ft<sup>2</sup>



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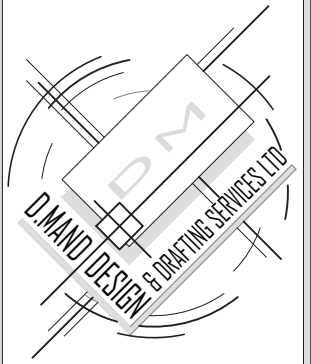
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DATE:  
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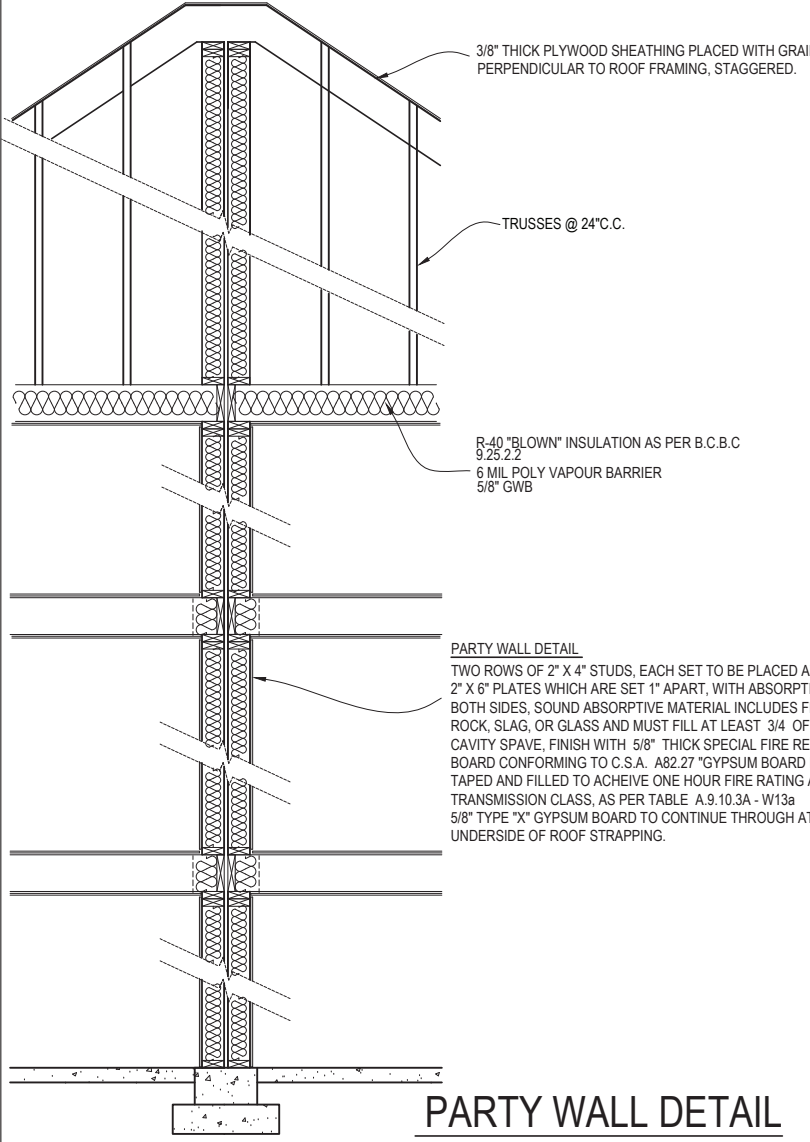
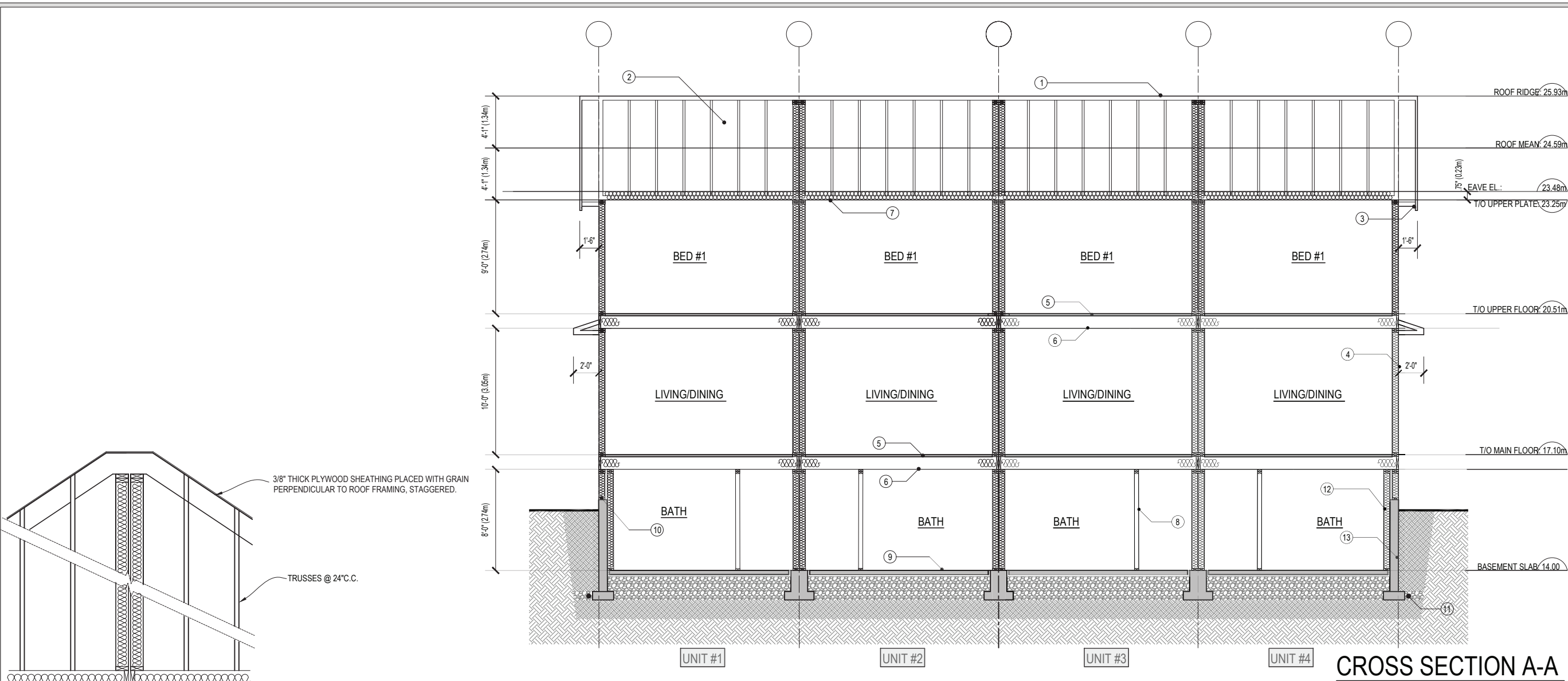
SCALE:  
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### CROSS SECTION SCHEDULE

- ① ASPHALT SHINGLE ROOFING, MIN. 2 THICKNESSES OF SHINGLE OVER ENTIRE ROOF, MIN. HEAD LAP OF 50mm. TABS SECURED BY MAX. 25mm Ø SPOT OF PLASTIC CEMENT. SHINGLES TO EXTEND MIN. 4" ON EITHER SIDE OF HIP OR RIDGE, AS PER B.C.B.C. 9.26.7  
1" X 4" STRAPPING - SPACING IN ACCORDANCE WITH ROOF SLOPE AND MANUFACTURERS SPECIFICATIONS.  
2 LAYERS OF 30 MIN. BUILDING PAPER TO CONFORM TO CAN/CGSB-51.34-M  
3/8" THICK PLYWOOD SHEATHING PLACED WITH GRAIN PERPENDICULAR TO ROOF FRAMING, STAGGERED.  
ENGINEERED TRUSSES AS PER TRUSS MANUFACTURER SPECIFICATIONS  
CONTINUOUS VENTED ALUMINUM SOFFITS.
- ② ATTIC SPACE  
ROOF TYPE VENTS AT 1/300 UNIFORMLY AT OPPOSITE SIDES OF BUILDING.  
CONTINUOUS RIBBED BAFFLE TO PREVENT INSULATION FROM BLOCKING SOFFIT VENTS & TO MAINTAIN 1" GAP FOR VENTILATION AIR TRAVEL.  
R-60 "BLOWN" INSULATION AS PER B.C.B.C. 9.25.2.2  
POLYETHYLENE SHEET CONTINUOUS TO PREVENT AIR LEAKAGE FROM INSIDE BUILDING OUT AND OUTSIDE BUILDING IN. LAP MIN 4" AT JOINTS. TAPE OR SEAL AIR-TIGHT. PROVIDE CONTINUOUS SEAL AT PENETRATIONS. TO CONFORM TO CAN/CGSB-51.33-M TO PROTECT ENTIRE SURFACE. MAXIMUM PERMEANCE=60ng(Pa·S)m<sup>2</sup> MEASURED IN ACCORDANCE WITH ASTM E 96 AS PER B.C.B.C. 9.25.4.
- ③ ALUMINUM GUTTERS, 2" X 8" ROUGH FASCIA, CONTINUOUS VENTED ALUMINUM SOFFITS.
- ④ HARDIE BOARD SIDING, INCLUDING FLASHING AND TRIM ACCESSORIES TO CONFORM TO CAN/CGSB-41.24, ATTACHMENT TO CONFORM TO REQUIREMENTS IN SUBSECTION B.C.B.C. 9.27.5.  
WEATHER TREATED LUMBER  
1" X 4" VERTICAL STRAPPING @ 16" O/C TO PROVIDE 1" AIRSPACE BETWEEN CLADDING AND SHEATHING MEMBRANE.  
2-LAYERS OF 30 MIN. BUILDING PAPER TO CONFORM TO CAN/CGSB-51.33-M  
2" X 6" STUDS @ 16" C.C.  
R-24 BATT INSULATION AS PER B.C.B.C. 9.25.2.2 UNIFORMLY OVER ENTIRE FACE OF WALL, FULL WIDTH AND LENGTH OF FRAMING, WITH ONE FACE IN FULL CONTACT WITH SHEATHING  
POLYETHYLENE SHEET CONTINUOUS TO PREVENT AIR LEAKAGE FROM INSIDE BUILDING OUT AND OUTSIDE BUILDING IN. LAP MIN 4" AT JOINTS. TAPE OR SEAL AIR-TIGHT. PROVIDE CONTINUOUS SEAL AT PENETRATIONS. TO CONFORM TO CAN/CGSB-51.33-M TO PROTECT ENTIRE SURFACE. MAXIMUM PERMEANCE=60ng(Pa·S)m<sup>2</sup> MEASURED IN ACCORDANCE WITH ASTM E 96 AS PER B.C.B.C. 9.25.4.  
1/2" TYPE 'X' GYPSUM WALL BOARD
- ⑤ 1 1/2" LIGHT WEIGHT CONCRETE (FOR RADIANT HEATING)
- ⑥ FINISH FLOOR ON 5/8" T&G PLYWOOD, T.J.I. JOIST (AS PER ENG) C/W BRIDGING, 1/2" GYP. BOARD ON THE CEILING.  
5/8" GYP. BOARD ON CEILING.
- ⑦ 5/8" GYP. BOARD ON CEILING.
- ⑧ 2" X 4" @ 16" C.C., 1/2" GYP. BOARD ON BOTH SIDES
- ⑨ 4" THICK BASEMENT SLAB (20 MPa CONCRETE), CONTINUOUS POLYETHYLENE SHEET, LAP MIN. 4" AT JOINTS, TAPE OR SEAL AIR-TIGHT., 3" EPS UNDER ENTIRE SLAB, MINIMUM 8" GRANULAR MATERIAL OR CRUSHED STONE (COMPACTED), CALUKING BEAD TO SEAL SLAB @ WALL C/W EXPANSION JOINT.
- ⑩ 1/2" ANCHOR BOLT @ 6" O/C, 2" X 6" WOOD SILL PLATE C/W MOISTURE BARRIER, TYPE 'S' ROLL ROOFING SILL GASKET, 6" CONCRETE FOUNDATION
- ⑪ 4" PERFORATED DRAINTILE TO CONFORM TO CAN/GSA-B182.1 AS PER B.C.B.C. 9.14.3.1 WALL ON 18" X 8" FOOTING C/W 2 COATS OF ASPHALT. INSTALLED AS PER B.C.B.C. 9.14.3.3. C/W MINIMUM 6" GRANULAR MATERIAL OR CRUSHED STONE
- ⑫ FULL HEIGHT 2" X 6" STUD WALL CONSTRUCTION COMPLETE WITH APPROVED R-20 INSULATION
- ⑬ 8" CONCRETE FOUNDATION WALL (HEIGHT VARIES ACCORDING TO GRADE)

PARTY WALL DETAIL  
SCALE: 1/2" = 1'-0"

CROSS SECTION A-A

THESE PLANS CONFORM TO BCBC 2018 CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND LOCAL BUILDING BY-LAWS.  
CONTRACTOR SHALL CONFIRM ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.  
THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE BUILDER/OWNER RESPONSIBILITY TO REVIEW AND VERIFY ALL LEVELS, DIMENSIONS AND STRUCTURAL ADEQUACIES PRIOR TO CONSTRUCTION.  
DO NOT SCALE DRAWINGS  
\*\*BUILDERS NOTES:  
THE OWNER/BUYER IS AWARE THAT DOORS, WINDOWS AND BUILDING ELEVATIONS MAY VARY DUE TO SITE CONDITIONS.  
SQUARE FOOTAGE SHOWN ARE APPROXIMATE  
THE BUILDER RESERVES RIGHT TO MAKE ON GOING CHANGES AND ADJUSTMENTS  
FINAL HOME DESIGN AND MEASUREMENTS MAY NOT MATCH AS PER PLANS  
IN ORDER TO COMPLY WITH BYLAWS, BUILDING CODES AND SITE CONDITIONS, THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE TO CLIENT/BUILDER.

JOB DESCRIPTION:  
**5 UNIT PROPOSAL**

ADDRESS:  
**19516 Hammond Road  
Pitt Meadows, B.C.**

LEGAL DESCRIPTION:  
**LOT 4  
D.L. 282 GP 1  
NWD PLAN 19441**

PID:010-486-950

CLIENT:  
**PCL HOMES**

DATE:  
**SEPT 2024**  
SCALE:  
**1/4"=1'-0" (UND)**  
DRAWN:  
**HARP** CHECKED:  
**D.M.**

**7**