

CITY OF PITT MEADOWS

DEVELOPMENT PERMIT NO. DP 2002-005-014

ADDENDUM TO DEVELOPMENT PERMIT NO. 2002-005

As Registered at the Land Titles Office on August 20, 2002

THIS DEVELOPMENT PERMIT made in triplicate and dated the day of , 2024

ISSUED BY:

THE CITY OF PITT MEADOWS, a City under the "Local Government Act" of the Province of British Columbia, and having its Municipal Offices at 12007 Harris Road, in the Municipality of Pitt Meadows, in the Province of British Columbia, V3Y 2B5
(hereinafter called the "City")

TO: **ONNI DEVELOPMENT (MAYFAIR PLACE) CORP**
200-1010 SEYMOUR ST
VANCOUVER BC V6B 3M6
(hereinafter called the "Permittee(s)")

WHEREAS the Permittee(s) wishes to commence a development upon ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in The Corporation of the City of Pitt Meadows in the Province of British Columbia, and more particularly known and described as:

Parcel Identifier: 026-397-218

Legal Description: LOT A EXCEPT: PART SUBDIVIDED BY PLAN BCP18702;
DISTRICT LOTS 223 AND 224 GROUP 1 NEW
WESTMINSTER DISTRICT PLAN BCP18701
(hereinafter called the "Lands")

AND WHEREAS the Permittee(s) has made application for a Development Permit in regard to the Lands;

AND WHEREAS the previous development permits (the "previous permits") were issued by Council and notice of this issuance being registered on title in regard to the Lands as the charge BT301879;

AND WHEREAS the Local Government Act provides that in such a Permit certain matters may be regulated, required or limited; and

NOW THEREFORE, the Council of the City hereby issues a Development Permit in respect of the Lands as follows:

1. This Development Permit is issued subject to compliance with all City Bylaws except where specifically varied or supplemented by this Development Permit.
2. The Permittee(s) shall comply with all City and Provincial building regulations and shall not commence work until they have received a Building Permit from the City.
3. The Lands shall be developed by the Permittee(s) in strict conformity with the terms and conditions set out in this Development Permit.
4. The Permittee(s) shall not sell, assign, transfer, convey or otherwise dispose of all or any part of his interest in and to the Lands, save and except for mortgage purposes, until the Lands have been developed in accordance with the conditions of this Development Permit, or alternatively, until the proposed purchaser or assignee has covenanted with the City, in a manner acceptable to the Council of the City, to ensure development of the Lands in conformity with the conditions herein contained. After the successor or assignee of the applicant has covenanted in writing to the satisfaction of the Council of the City to assume all of the Permittee's obligation and liabilities herein, the obligations and liabilities of the Permittee(s) shall cease in regard to development work done thereafter by the said successor assignee.
5. All plans, specifications, minutes and written commitments referred to above are subject to any changes required by the Building Official or their designate, or other officials of the City, where such plans and specifications do not comply with any duly enacted law or Bylaw, and such non-compliance is not specifically permitted by this Development Permit; minor variations which do not substantially alter the work referred to in Part 6 and 7 may be permitted if approved in writing by the Director Responsible for Development Services or their designate (hereinafter called the "Planner") thereon.

As a condition of the issuance of this Development Permit, the City is holding security in the form of an Irrevocable Letter of Credit as follows:

Securities totaling the amount of **\$193,830** for the on-site landscaping works are to be provided prior to Building Permit issuance to ensure that the development specified in Part 6 i) and 6 ii) hereto, and particularly the landscaping works therein, is carried out in accordance with the terms and conditions of this Development Permit, and to ensure that an unsafe condition will not result from a contravention of the provisions of this Development Permit.

The condition of the posting of the security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security and any interest

thereon accrued by the City to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permittee(s), or should the Permittee(s) carry out the development permitted by this Development Permit under the conditions set out in Paragraph b) hereto, the security and any interest thereon accrued by the City shall be returned to the Permittee(s) upon:

- a) Issuance by the Building Official of Occupancy Permits where applicable;
 - b) Verification by the Planner that the development set out in Part 6 i) and 6 ii) hereto, and particularly the landscaping works therein, including the off-site trees, have been completed in accordance with the terms and conditions in this Development Permit; and
 - c) Confirmation from a professional landscaper that landscaping works completed in accordance with the landscape plan in this Development Permit.
 - d) A one-time landscape inspection fee of \$1,000 also applies.
6. Development upon the Lands shall conform to the following plans, specifications, and the conditions:
- i) Set of architectural plans and specifications prepared by Aplin & Martin Consultants Ltd., 201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9, entitled "Meadowtown Expansion", copies of which are attached to and form part of this permit; and
 - ii) Set of landscape plans and specifications prepared by Gauthier & Associates Landscape Architects Inc., 629 Atlantic Street, Vancouver, British Columbia, V6A 2J9, entitled "Meadowtown Expansion", copies of which are attached to and form part of this permit.
7. All lighting, including business signage lighting, to be fully shielded from adjacent residential parcels. Lighting and signage to be designed to have no direct source of light visible from adjacent residential land. Business signage lighting to be turned off when business hours are over. Fascia lighting is restricted to down-lighting only. A covenant registered on title ensuring compliance with this condition is required.
8. No business signage is permitted above the ground storey northwest elevation.
9. Glazing on second storey windows to contain a film or other material that limits the amount of light being emitted from inside the building, to the acceptance of the City.
10. Minimum sidewalk clearance of at least 2 m to be maintained around the building addition.

11. Pedestrian routes to be fully accessible to people with disabilities, including pathways wide enough for wheelchairs/mobility scooters and a tactile strip for the visually impaired.
12. Rooftop mechanical, electrical or other service equipment to be screened from adjacent residential neighbourhood.
13. Solid screen (fence or hedge row) is required along the rear yards of the residential lots abutting the development area, to the acceptance of the City.
14. 12 trees to be planted on the adjacent City-owned parcel (PID: 014-437-082) to provide additional screening for residents along Chestnut Cres. Tree planting plan to be approved by the City in advance. Tree installation and site clean up on City-owned land to be completed to the City's acceptance.
15. Amendment or discharge of Statutory Right-of-way Y133612, such that a Statutory Right-of-way is registered on title reflecting accurate, as-built location of sanitary force main across the southwest corner of the property.
16. New statutory right-of-way to be registered on title to provide access along the southern property line to the City's Meadowtown lift station property.
17. This particular amendment applies only to the changes noted above and as shown in "Attachment A" and all other conditions in Development Permit No. 2002-005-014 and subsequent amendments remain unchanged. This amendment is applicable only for the life of Development Permit No. 2002-005-014.
18. In the event the Permit lapses, the Permittee(s) may request refund of the security described in Part 5 and the City shall make refund provided the Director responsible for Development Services or designee authorizes such refund.
19. It is understood and fully agreed by the Permittee(s) that the site and abutting streets shall be maintained in a neat and tidy order during the construction process, and that construction debris bins will be removed from the site promptly once they are full.
20. Whenever the singular or masculine is used in this Development Permit, the same shall be deemed to include the plural, or the feminine, or the body politic or corporate as the context so requires, and every reference to each part hereto shall be deemed to include the heirs, executors, administrators, successors and assigns of such party whenever this context or the parties so require.
21. It is understood and agreed that the City has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the Permittee(s) other than those in this Development Permit.

22. If the Permittee(s) does not substantially start any construction with respect to which this Permit was issued, within 2 years after the date it is issued the Permit shall lapse.
23. The terms of this Development Permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

AUTHORIZED BY COUNCIL RESOLUTION passed by on the _____ day of _____, 2024.

THE CORPORATE SEAL OF THE CITY OF PITT MEADOWS was
hereunto affixed on the _____ day of _____, 2024.

Nicole MacDonald, Mayor

Tanya Barr, Acting Corporate Officer

Owner of the Lands or authorized signatory(ies)

Print Name

SIGNED, SEALED AND DELIVERED BY
the Owner of the Lands on
the _____ day of _____, 2024

PDF Files of Development Permit Drawings:
11 X 17 copies attached to this document

Architectural plans and specifications prepared by Aplin & Martin Consultants Ltd.,
201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9, entitled "Meadowtown Expansion":

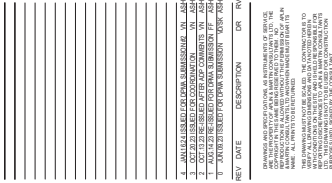
A0.0	–	Cover Page	Attachment "A"
A0.1	–	Project Information & Zoning Analysis	Attachment "B"
A0.2	–	Site Survey	Attachment "C"
A1.1	–	Site Context Plan	Attachment "D"
A1.2	–	Site Plan	Attachment "E"
A2.1	–	Ground Floor Plan	Attachment "F"
A2.2	–	Second Floor Plan	Attachment "G"
A2.3	–	Roof Plan	Attachment "H"
A3.1	–	Building Sections	Attachment "I"
A4.1	–	Building Northwest Elevation	Attachment "J"
A4.2	–	Building Southwest & Northeast Elevations	Attachment "K"
A9.1	–	Perspectives	Attachment "L"
A9.2	–	Perspectives	Attachment "M"

Landscape plans and specifications prepared by Gauthier & Associates Landscape
Architects Inc., 629 Atlantic Street, Vancouver, British Columbia, V6A 2J9, entitled
"Meadowtown Expansion":

L0.0	–	Cover Sheet	Attachment "N"
L0.1	–	Soil Depth Plan	Attachment "O"
L1.0	–	Layout & Materials Plan	Attachment "P"
L2.0	–	Planting Plan	Attachment "Q"
L3.0	–	Irrigation Plan	Attachment "R"
L4.0	–	Section	Attachment "S"
L5.0	–	Details	Attachment "T"
L5.1	–	Details	Attachment "U"
L6.0	–	Plant List & Images	Attachment "V"

**APLIN
MARTIN**

Aplin & Martin Consultants Ltd.
1818-1177 W. Hastings St. Vancouver, B.C. V6E 2K3
Tel: (604) 675-9434, Fax: (604) 597-9061
Email: general@aplmartin.com

MEADOWTOWN
EXPANSION
PROJECT

19800 LOUGHEED HWY.
PITT MEADOWS, BC V3Y 2W1

THEY

SCALE	REVISION
	4
DRAWING NO.	PROJECT NO.
A0.0	22-2021

CHAMBER

ONNIGROUP
200 - 1015 SE MOUNTAIN STREET
VANCOUVER BC V6B 3M6
CONTACT
CHAMBERS PARTNERS
CHAMBERS@ONNIGROUP.COM

ARCHITECTURAL

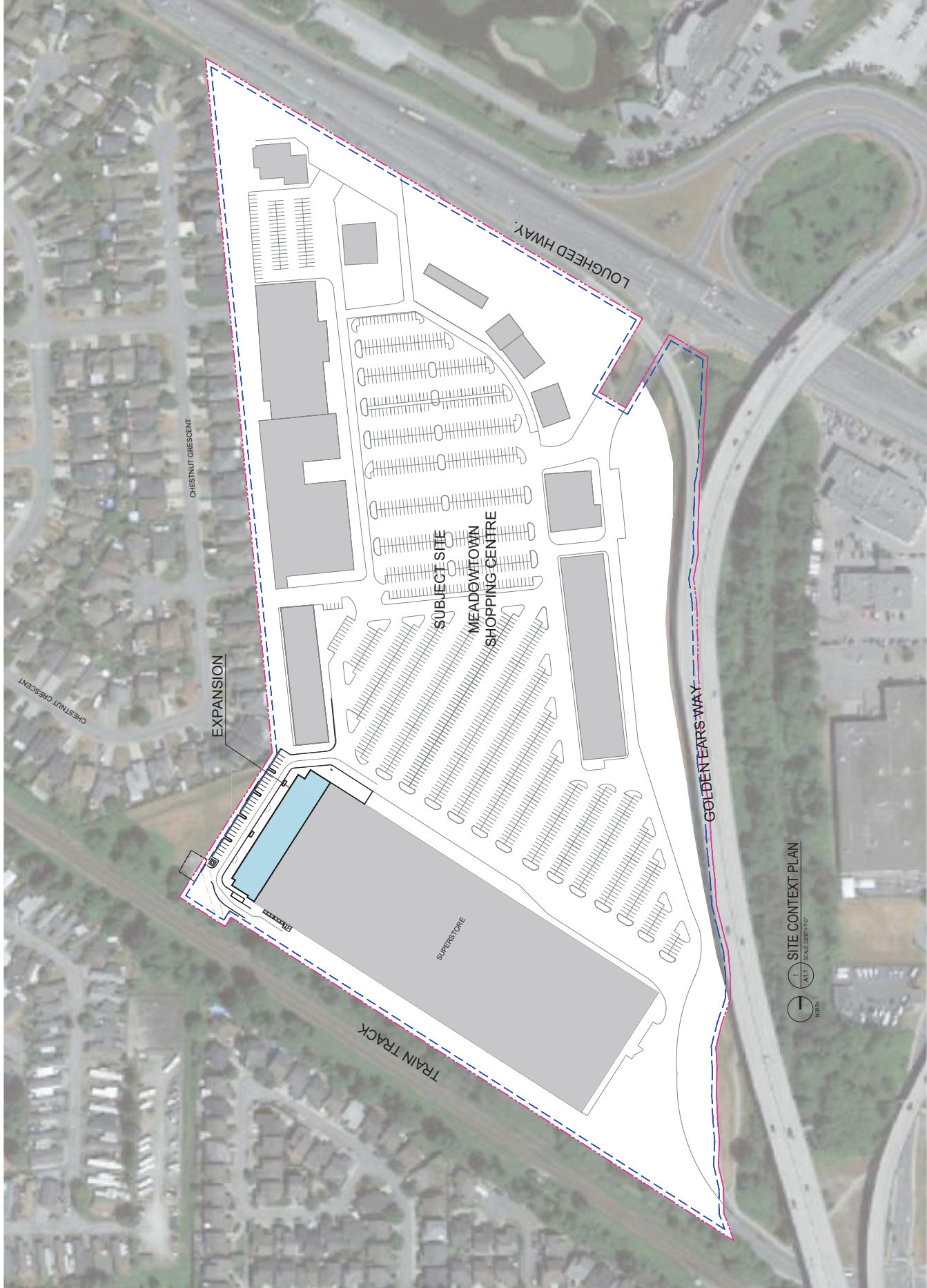
APLN & MARTIN CONSULTANTS LTD.
SUITE B18 - 117 WEST HASTINGS STREET
VANCOUVER BC V6E 2G2
CONTACT
BOB AND JANE ARCHITECT ABC, AAA
CHAMBERS PARTNERS
604-232-5486
HROB@PUNAMARTIN.COM

JANET BOSLEY
JANET@ONNIGROUP.COM
JOSSELYN@ONNIGROUP.COM

SURVEY: BENNETT LAND SURVEYING LTD.
201-275 FELL AVENUE
NORTH VANCOUVER, B.C. V7P 3R5
CONTACT: 604-980-4868
NORTHVAN@BENNETTSURVEYS.COM

ARCHITECTURAL:

A2.3	ROOF PLAN
A3.1	BUILDING SECTIONS
A4.1	BUILDING NORTHWEST ELEVATION
A4.2	BUILDING SOUTHWEST & NORTHEAST ELEVATIONS
A6.1	PERSPECTIVES
A6.2	PERSPECTIVES



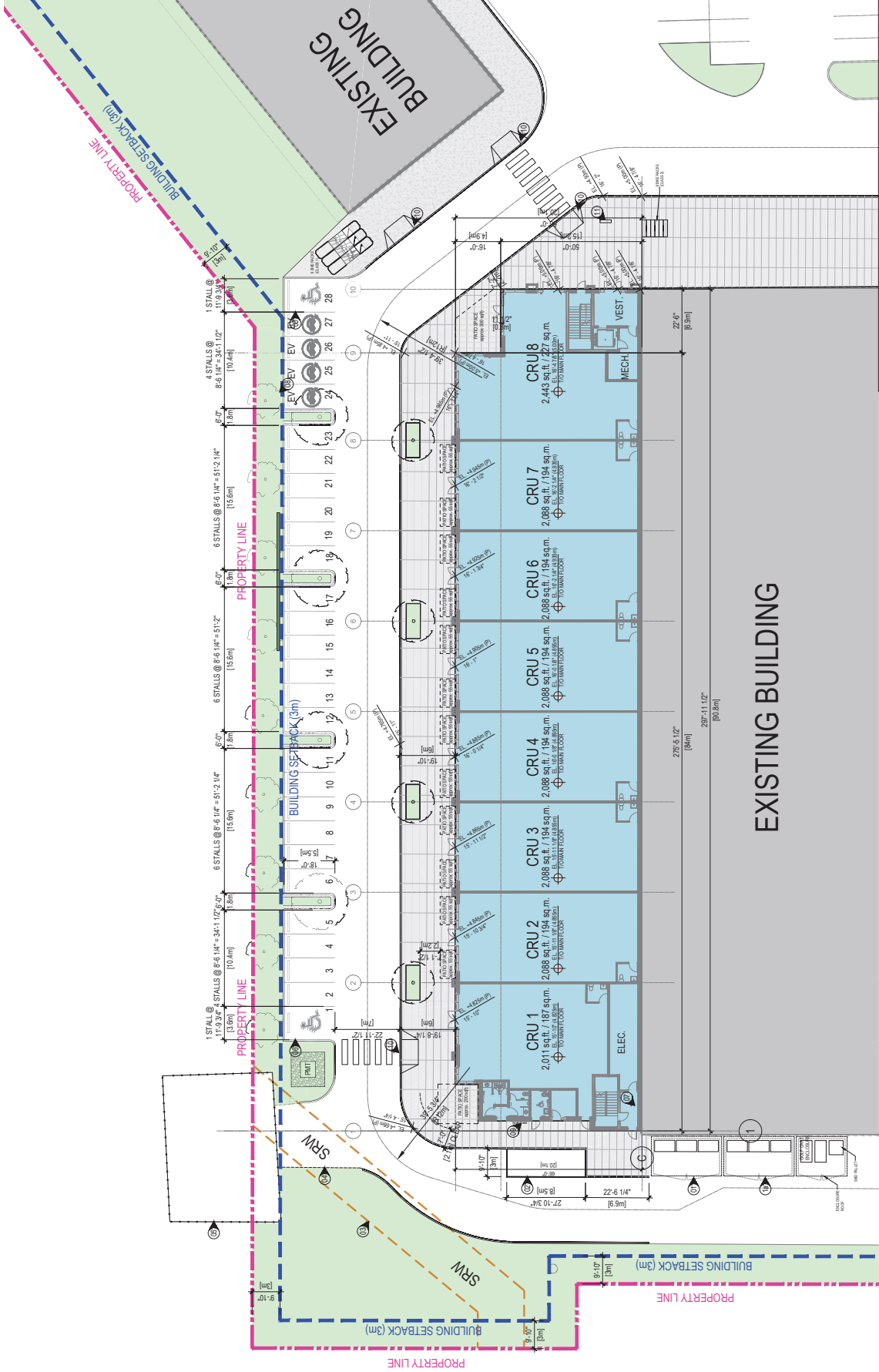
1 SITE CONTEXT PLAN
A1.1 / SCALE 1:1000

SITE CONTEXT
PLAN

DATE	22-2021
PROJECT NO.	A1.1
REVISION	

PROJECT
MEADOWTOWN
EXPANSION
1800 LOUGHEED HWY.
PITTSBURGH, PA 15109
SHEET TITLE

REV.	DATE	DESCRIPTION	CHK.	BY
0	JAN 03	ISSUED FOR PERMITS		
1	JAN 10	ISSUED FOR PERMITS		
2	JAN 15	ISSUED FOR PERMITS		
3	JAN 20	ISSUED FOR PERMITS		
4	JAN 25	ISSUED FOR PERMITS		



RAIL WAY

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- EXISTING SIDEWALK & CURB
- PROPOSED SIDEWALK & CURB
- PROPOSED SIDEWALK & CURB
- ASPHALT

ENTRY OF ENVIRONMENT AREA

- PROPOSED NEW TREES (REFER TO LANDSCAPE)
- ACCESSIBLE PARKING STALL
- ELECTRICAL VEHICLE PARKING STALL
- BENCH (REFER TO LANDSCAPE)

CONSTRUCTION NOTE:

- EXISTING FENCED GARAGE & RECYCLING ENCLOSURE
- NEW GARAGE & RECYCLING ENCLOSURE
- DESIGNATED CURB & LOADING ZONE
- STREET LIGHT RIGHT OF WAY
- EXISTING ASPHALT PAVEMENT
- EXISTING FENCED ENCLOSURE

ACCESSIBLE PARKING STALL

- WELL EXISTING DOOR DRIVING
- PROPOSED SIDEWALK CONSTRUCTION
- GAS METER LOCATION
- SIDEWALK LAYOUT
- PLANT BED

SITE PLAN	
1	SCALE 1/8" = 1'-0"
NORTH	
FLOOR AREA:	UNIT COUNT:
FIRST FLOOR: 19,010 sq ft / 1,766 sq m.	8 CRU
SECOND FLOOR: 18,532 sq ft / 1,722 sq m.	FLOOR FOR LEASE
TOTAL GFA:	37,542 sq ft / 3,488 sq m.

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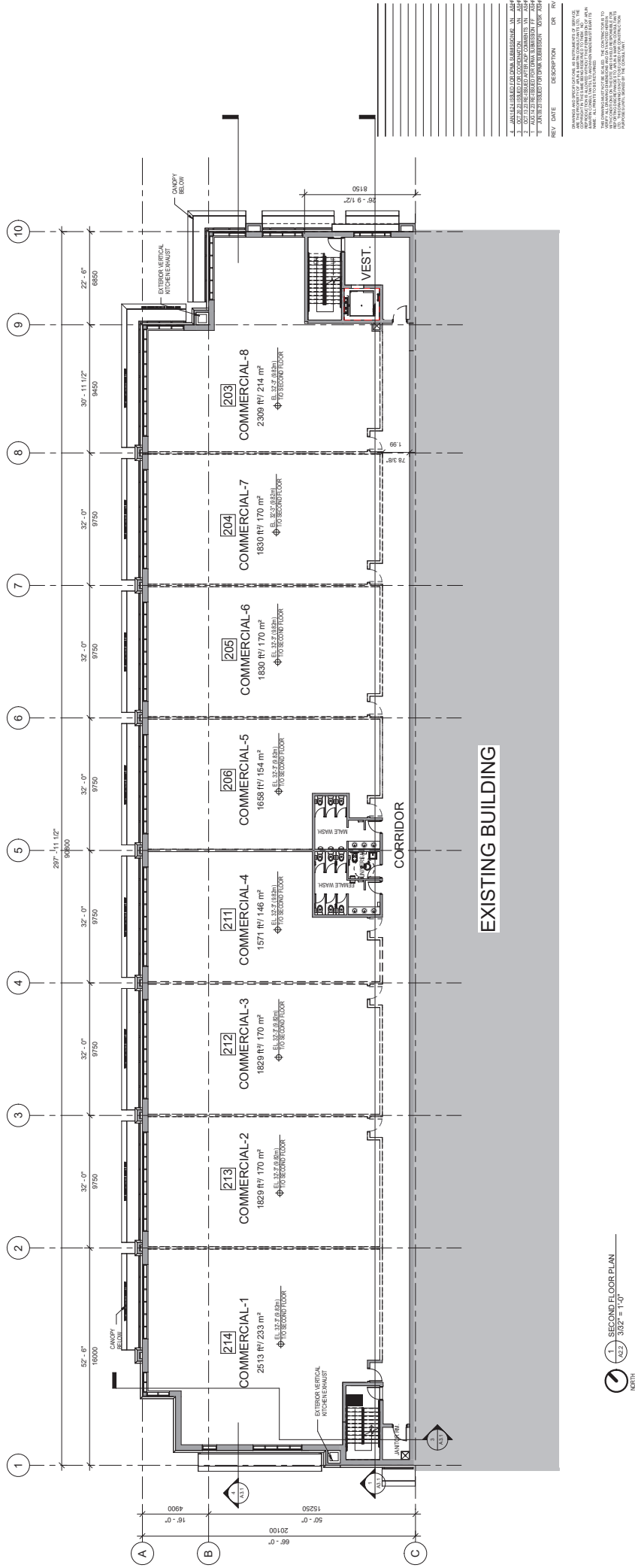
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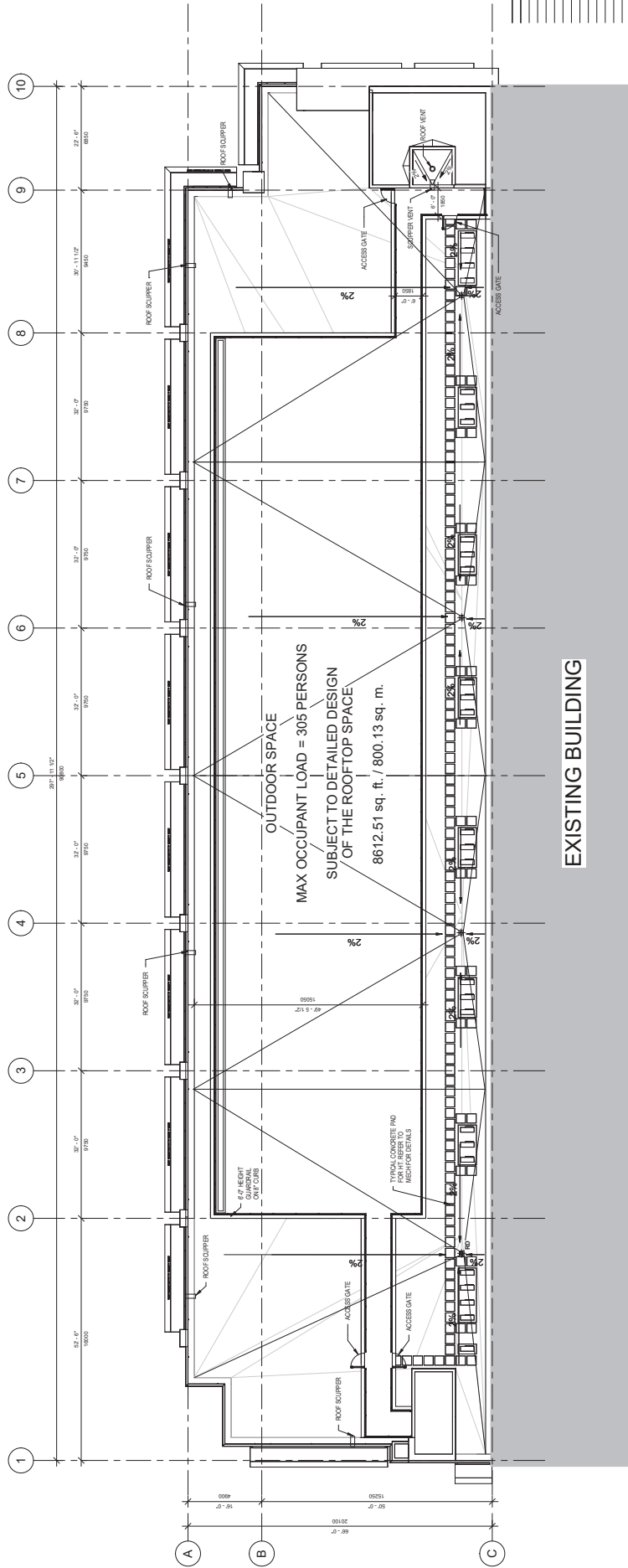


PROJECT

19800 LOUGHEED HWY.,
PITT MEADOWS, BC V3Y 2W1

SCALE	3/32" = 1'-0"	REVISION	4
DRAWING NO.	A2.1	PROJECT NO.	22-2021





1 DP Floor Plan - Roof
A2.3 3/32" = 1'-0"



EXISTING BUILDING

EXISTING BUILDING

SCALE	3/32" = 1'-0"	REVISION	4
DRAWING NO.	A2.3	PROJECT NO.	22-2021

DP Floor Plan - Roof Vestibule -

DP Floor Plan - Roof Vestibule -

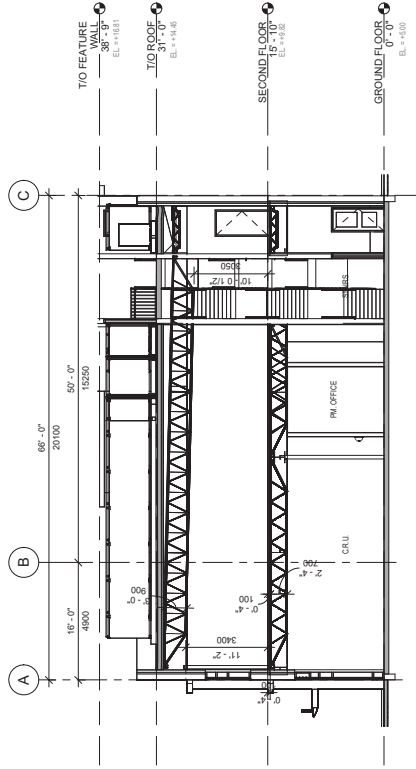
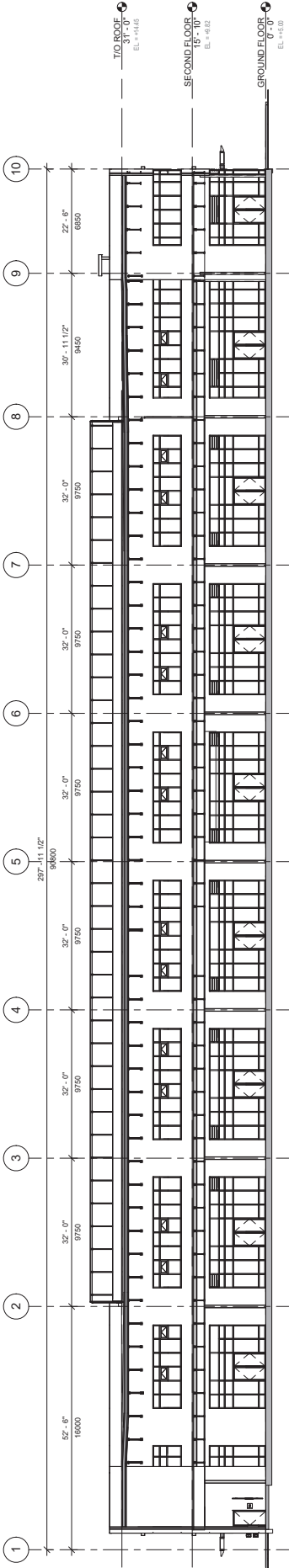
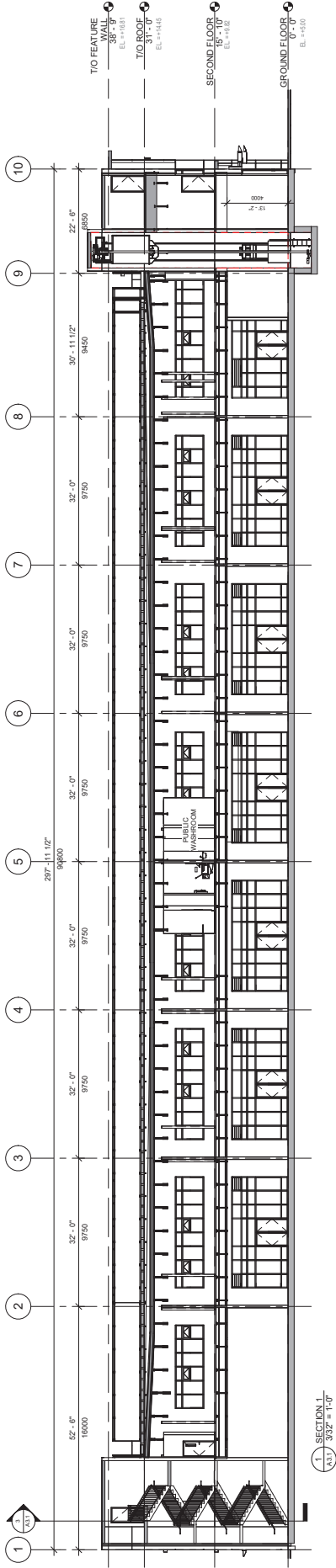
ROOF PLAN

MEADOWTOWN
EXPANSION

19800 LOUGHEED HWY.,
PITT MEADOWS, BC V3V 2M8

REFERENCES

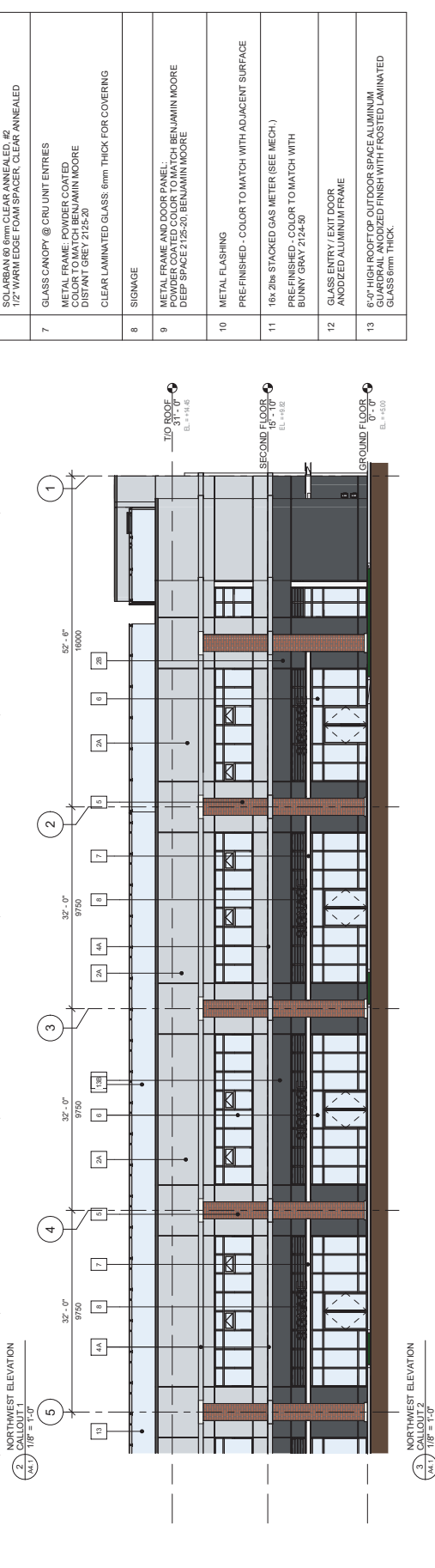
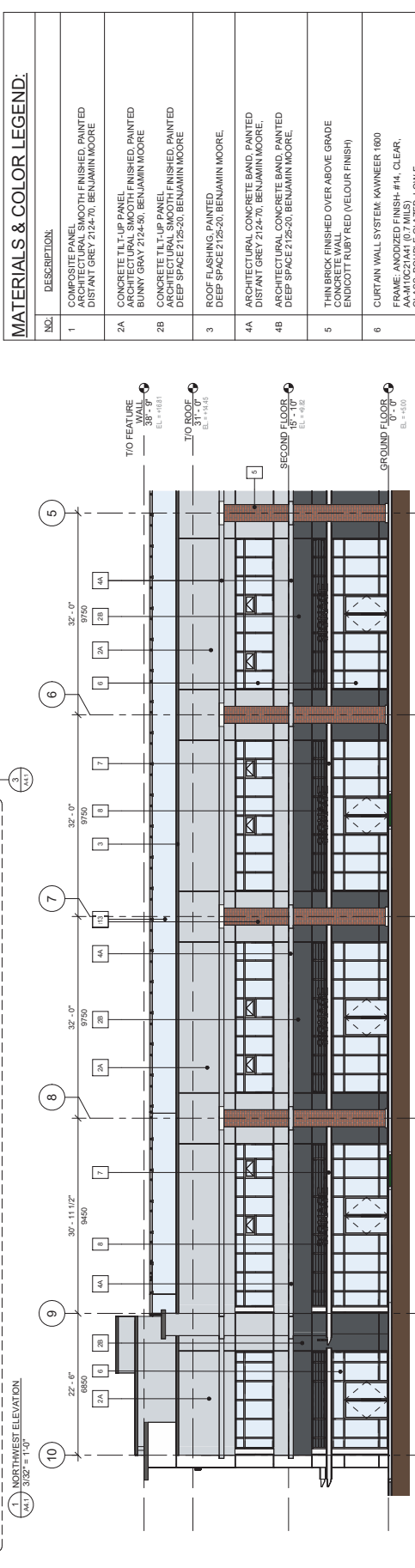
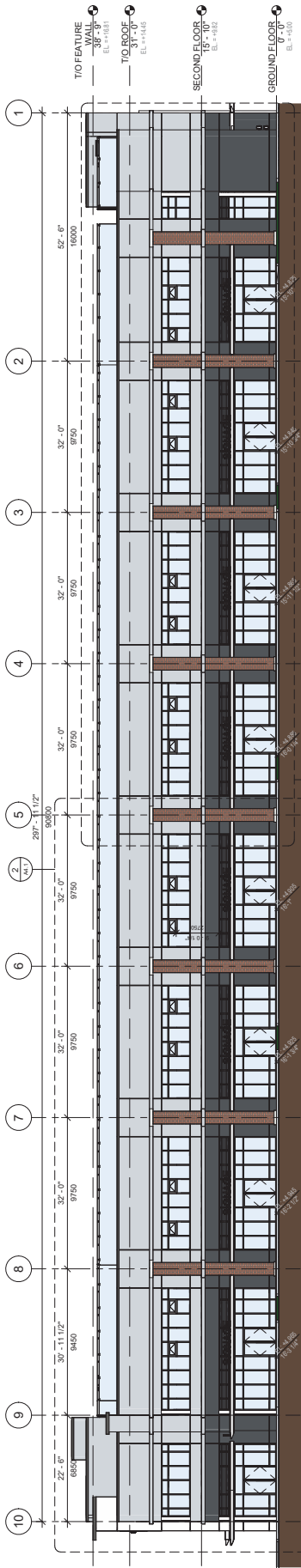
PROJECT



REV	DATE	DESCRIPTION	BY	CHK	APP
1	2021-01-15	ISSUED FOR PERMIT	APL	MD	
2	2021-02-01	REVISED TO REFLECT PERMIT COMMENTS	APL	MD	
3	2021-02-15	REVISED TO REFLECT PERMIT COMMENTS	APL	MD	
4	2021-03-01	REVISED TO REFLECT PERMIT COMMENTS	APL	MD	

PROJECT: MEADOWTOWN EXPANSION
SHEET TITLE: PVT HEADWORK, 80, 127, 201
DRAWING AND SPECIFICATION, AS APPROVED BY THE
CITY OF VANCOUVER, 2021-01-15
DRAWING AND SPECIFICATION, AS APPROVED BY THE
CITY OF VANCOUVER, 2021-02-01
DRAWING AND SPECIFICATION, AS APPROVED BY THE
CITY OF VANCOUVER, 2021-02-15
DRAWING AND SPECIFICATION, AS APPROVED BY THE
CITY OF VANCOUVER, 2021-03-01

BUILDING SECTIONS	
TOTAL	As indicated
SECTION	A3.1
DATE	22-2021



MATERIALS & COLOR LEGEND:

NO.	DESCRIPTION
1	COMPOSITE PANEL ARCHITECTURAL SMOOTH FINISHED, PAINTED DISTANT GREY 2124-70, BENJAMIN MOORE
2A	CONCRETE TILT-UP PANEL FINISHED: ANODIZED FINISH, PAINTED BUNNY GRAY 2124-50, BENJAMIN MOORE
2B	CONCRETE TILT-UP PANEL FINISHED: ANODIZED FINISH, PAINTED DEEP SPACE 2125-20, BENJAMIN MOORE
3	ROOF FLASHING, PAINTED DEEP SPACE 2125-20, BENJAMIN MOORE
4A	ARCHITECTURAL CONCRETE BAND, PAINTED DISTANT GREY 2124-70, BENJAMIN MOORE
4B	ARCHITECTURAL CONCRETE BAND, PAINTED DEEP SPACE 2125-20, BENJAMIN MOORE
5	THIN BRICK FINISHED OVER ABOVE GRADE CONCRETE, ANODIZED FINISH, PAINTED ENDCOTT RUBY RED (VELOUR FINISH)
6	CURTAIN WALL SYSTEM: KAWNEER 1800 FRAME: ANODIZED FINISH- #14, CLEAR, GLASS: CLEAR, LOW-E, 1/2" WARM EDGE SPACER, CLEAR ANNEALED, #2 1/2" WARM EDGE FOAM SPACER, CLEAR ANNEALED
7	GLASS CANOPY @ CRU UNIT ENTRIES METAL FRAME: POWDER COATED COLOR TO MATCH BENJAMIN MOORE DISTANT GREY 2125-20 CLEAR LAMINATED GLASS, 6mm THICK FOR COVERING
8	SIGNAGE
9	METAL FRAME AND DOOR PANEL: POWDER COATED COLOR TO MATCH BENJAMIN MOORE DEEP SPACE 2125-20, BENJAMIN MOORE
10	METAL FLASHING PRE-FINISHED - COLOR TO MATCH WITH ADJACENT SURFACE
11	16x 21x8 STACKED GAS METER (SEE MECH.) PRE-FINISHED - COLOR TO MATCH WITH BUNNY GRAY 2124-50
12	GLASS ENTRY / EXIT DOOR ANODIZED ALUMINUM FRAME
13	8'x11' HIGH ROOF TOP OUTDOOR SPACE, ALUMINUM GUARDRAIL ANODIZED FINISH WITH FROSTED LAMINATED GLASS 6mm THICK.

REV	DATE	DESCRIPTION	BY	CHK	REV
1	2021-01-15	ISSUED FOR PERMIT	AM	AM	1
2	2021-02-01	ISSUED FOR PERMIT	AM	AM	2
3	2021-02-01	ISSUED FOR PERMIT	AM	AM	3
4	2021-02-01	ISSUED FOR PERMIT	AM	AM	4
5	2021-02-01	ISSUED FOR PERMIT	AM	AM	5
6	2021-02-01	ISSUED FOR PERMIT	AM	AM	6
7	2021-02-01	ISSUED FOR PERMIT	AM	AM	7
8	2021-02-01	ISSUED FOR PERMIT	AM	AM	8
9	2021-02-01	ISSUED FOR PERMIT	AM	AM	9
10	2021-02-01	ISSUED FOR PERMIT	AM	AM	10
11	2021-02-01	ISSUED FOR PERMIT	AM	AM	11
12	2021-02-01	ISSUED FOR PERMIT	AM	AM	12
13	2021-02-01	ISSUED FOR PERMIT	AM	AM	13
14	2021-02-01	ISSUED FOR PERMIT	AM	AM	14
15	2021-02-01	ISSUED FOR PERMIT	AM	AM	15
16	2021-02-01	ISSUED FOR PERMIT	AM	AM	16
17	2021-02-01	ISSUED FOR PERMIT	AM	AM	17
18	2021-02-01	ISSUED FOR PERMIT	AM	AM	18
19	2021-02-01	ISSUED FOR PERMIT	AM	AM	19
20	2021-02-01	ISSUED FOR PERMIT	AM	AM	20
21	2021-02-01	ISSUED FOR PERMIT	AM	AM	21
22	2021-02-01	ISSUED FOR PERMIT	AM	AM	22
23	2021-02-01	ISSUED FOR PERMIT	AM	AM	23
24	2021-02-01	ISSUED FOR PERMIT	AM	AM	24
25	2021-02-01	ISSUED FOR PERMIT	AM	AM	25
26	2021-02-01	ISSUED FOR PERMIT	AM	AM	26
27	2021-02-01	ISSUED FOR PERMIT	AM	AM	27
28	2021-02-01	ISSUED FOR PERMIT	AM	AM	28
29	2021-02-01	ISSUED FOR PERMIT	AM	AM	29
30	2021-02-01	ISSUED FOR PERMIT	AM	AM	30
31	2021-02-01	ISSUED FOR PERMIT	AM	AM	31
32	2021-02-01	ISSUED FOR PERMIT	AM	AM	32
33	2021-02-01	ISSUED FOR PERMIT	AM	AM	33
34	2021-02-01	ISSUED FOR PERMIT	AM	AM	34
35	2021-02-01	ISSUED FOR PERMIT	AM	AM	35
36	2021-02-01	ISSUED FOR PERMIT	AM	AM	36
37	2021-02-01	ISSUED FOR PERMIT	AM	AM	37
38	2021-02-01	ISSUED FOR PERMIT	AM	AM	38
39	2021-02-01	ISSUED FOR PERMIT	AM	AM	39
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41	2021-02-01	ISSUED FOR PERMIT	AM	AM	41
42	2021-02-01	ISSUED FOR PERMIT	AM	AM	42
43	2021-02-01	ISSUED FOR PERMIT	AM	AM	43
44	2021-02-01	ISSUED FOR PERMIT	AM	AM	44
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54	2021-02-01	ISSUED FOR PERMIT	AM	AM	54
55	2021-02-01	ISSUED FOR PERMIT	AM	AM	55
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57	2021-02-01	ISSUED FOR PERMIT	AM	AM	57
58	2021-02-01	ISSUED FOR PERMIT	AM	AM	58
59	2021-02-01	ISSUED FOR PERMIT	AM	AM	59
60	2021-02-01	ISSUED FOR PERMIT	AM	AM	60
61	2021-02-01	ISSUED FOR PERMIT	AM	AM	61
62	2021-02-01	ISSUED FOR PERMIT	AM	AM	62
63	2021-02-01	ISSUED FOR PERMIT	AM	AM	63
64	2021-02-01	ISSUED FOR PERMIT	AM	AM	64
65	2021-02-01	ISSUED FOR PERMIT	AM	AM	65
66	2021-02-01	ISSUED FOR PERMIT	AM	AM	66
67	2021-02-01	ISSUED FOR PERMIT	AM	AM	67
68	2021-02-01	ISSUED FOR PERMIT	AM	AM	68
69	2021-02-01	ISSUED FOR PERMIT	AM	AM	69
70	2021-02-01	ISSUED FOR PERMIT	AM	AM	70
71	2021-02-01	ISSUED FOR PERMIT	AM	AM	71
72	2021-02-01	ISSUED FOR PERMIT	AM	AM	72
73	2021-02-01	ISSUED FOR PERMIT	AM	AM	73
74	2021-02-01	ISSUED FOR PERMIT	AM	AM	74
75	2021-02-01	ISSUED FOR PERMIT	AM	AM	75
76	2021-02-01	ISSUED FOR PERMIT	AM	AM	76
77	2021-02-01	ISSUED FOR PERMIT	AM	AM	77
78	2021-02-01	ISSUED FOR PERMIT	AM	AM	78
79	2021-02-01	ISSUED FOR PERMIT	AM	AM	79
80	2021-02-01	ISSUED FOR PERMIT	AM	AM	80
81	2021-02-01	ISSUED FOR PERMIT	AM	AM	81
82	2021-02-01	ISSUED FOR PERMIT	AM	AM	82
83	2021-02-01	ISSUED FOR PERMIT	AM	AM	83
84	2021-02-01	ISSUED FOR PERMIT	AM	AM	84
85	2021-02-01	ISSUED FOR PERMIT	AM	AM	85
86	2021-02-01	ISSUED FOR PERMIT	AM	AM	86
87	2021-02-01	ISSUED FOR PERMIT	AM	AM	87
88	2021-02-01	ISSUED FOR PERMIT	AM	AM	88
89	2021-02-01	ISSUED FOR PERMIT	AM	AM	89
90	2021-02-01	ISSUED FOR PERMIT	AM	AM	90
91	2021-02-01	ISSUED FOR PERMIT	AM	AM	91
92	2021-02-01	ISSUED FOR PERMIT	AM	AM	92
93	2021-02-01	ISSUED FOR PERMIT	AM	AM	93
94	2021-02-01	ISSUED FOR PERMIT	AM	AM	94
95	2021-02-01	ISSUED FOR PERMIT	AM	AM	95
96	2021-02-01	ISSUED FOR PERMIT	AM	AM	96
97	2021-02-01	ISSUED FOR PERMIT	AM	AM	97
98	2021-02-01	ISSUED FOR PERMIT	AM	AM	98
99	2021-02-01	ISSUED FOR PERMIT	AM	AM	99
100	2021-02-01	ISSUED FOR PERMIT	AM	AM	100

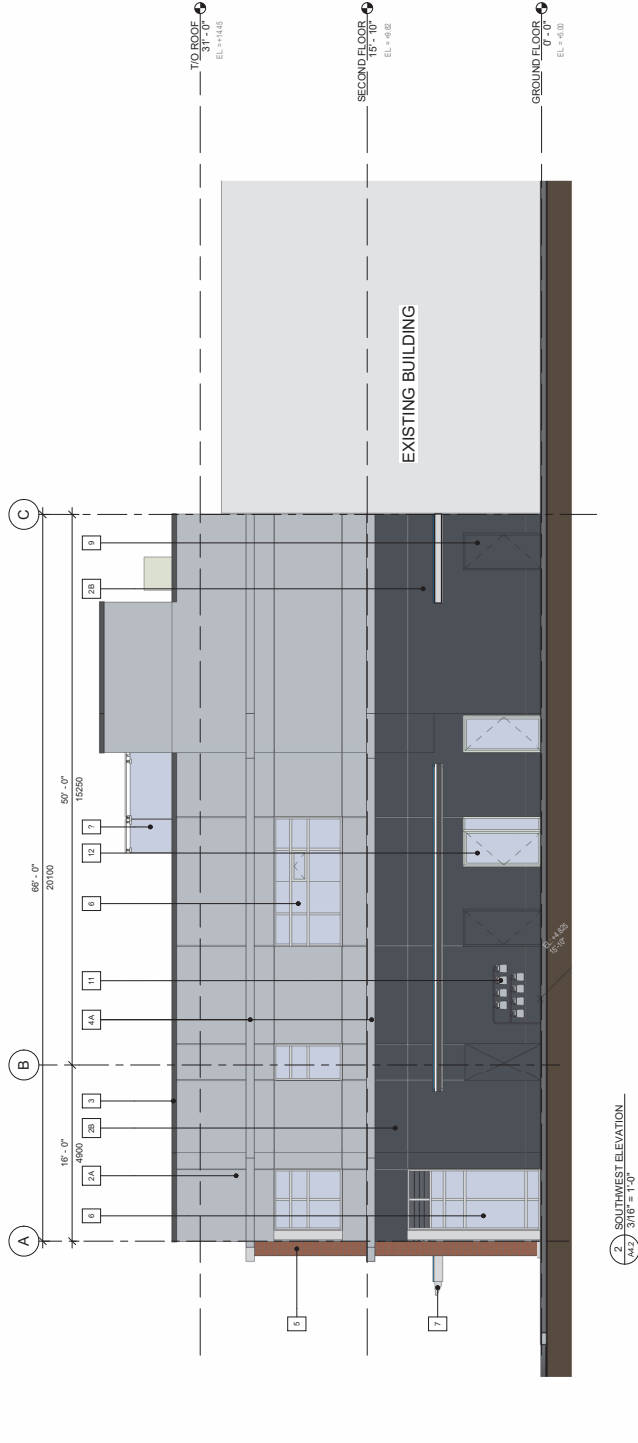
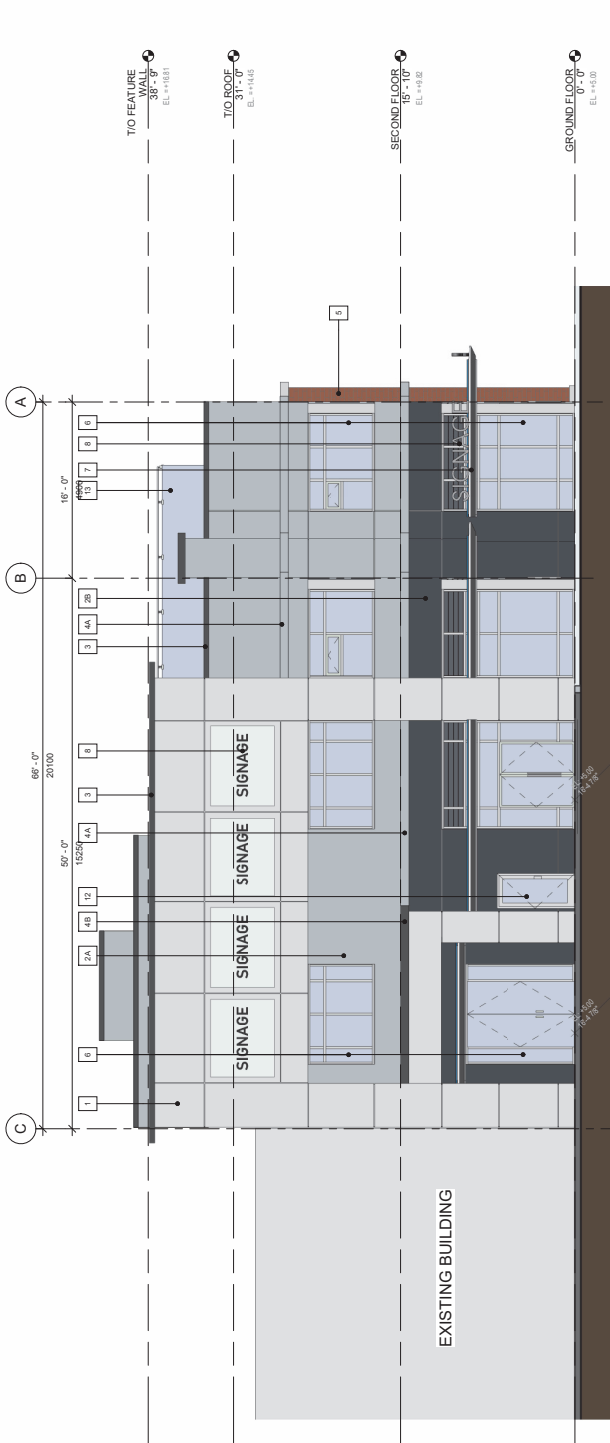
PROJECT	MEADOWTOWN EXPANSION
CLIENT	MEADOWTOWN EXPANSION
LOCATION	1800 LOCUST STREET, VANCOUVER, BC V6C 2H1
DATE	2021-02-01

TITLE	BUILDING NORTHWEST ELEVATION
DATE	2021-02-01
BY	AM
CHK	AM

TOTAL	As indicated
REVISION	4
DATE	2021-02-01
BY	AM
CHK	AM

MATERIALS & COLOR LEGEND:

NO.	DESCRIPTION:
1	COMPOSITE PANEL ARCHITECTURAL SMOOTH FINISHED, PAINTED DISTANT GREY 2124-70, BENJAMIN MOORE
2A	CONCRETE TILT-UP PANEL ARCHITECTURAL SMOOTH FINISHED, PAINTED BUNNY GRAY 2124-50, BENJAMIN MOORE
2B	CONCRETE TILT-UP PANEL ARCHITECTURAL SMOOTH FINISHED, PAINTED DEEP SPACE 2125-20, BENJAMIN MOORE
3	ROOF FLASHING, PAINTED DEEP SPACE 2124-20, BENJAMIN MOORE.
4A	ARCHITECTURAL CONCRETE BAND, PAINTED DISTANT GREY 2124-70, BENJAMIN MOORE.
4B	ARCHITECTURAL CONCRETE BAND, PAINTED DEEP SPACE 2125-20, BENJAMIN MOORE.
5	THIN BRICK FINISHED OVER ABOVE GRADE CONCRETE WALL ENDICOTT RUBY RED (VELOUR FINISH)
6	CURTAIN WALL SYSTEM: KAWNEER 8000 FRAME: ANODIZED FINISH- #14, CLEAR, AAM10021 M1 (0.7 MILS) GLASS: 100% CLEAR ANNEALED GLASS SOLAR CONTROL COATING, CLEAR ANNEALED, #2 1/2" WARM EDGE FOAM SPACER, CLEAR ANNEALED
7	GLASS CANOPY @ CRU UNIT ENTRIES METAL FRAME, POWDER COATED COLOR TO MATCH CONCRETE BENJAMIN MOORE DISTANT GREY 2125-20 CLEAR LAMINATED GLASS: 6mm THICK FOR COVERING
8	SIGNAGE
9	METAL FRAME AND DOOR PANEL ANODIZED ALUMINUM FRAME GLASS: 100% CLEAR ANNEALED GLASS DEEP SPACE 2124-20, BENJAMIN MOORE
10	METAL FLASHING PRE-FINISHED - COLOR TO MATCH WITH ADJACENT SURFACE
11	16" 2lbs STACKED GAS METER (SEE MECH.) PRE-FINISHED - COLOR TO MATCH WITH BUNNY GRAY 2124-50
12	GLASS ENTRY / EXIT DOOR ANODIZED ALUMINUM FRAME
13	6" 0" HIGH ROOFTOP OUTDOOR SPACE ALUMINUM FRAME ANODIZED FINISH WITH FROSTED LAMINATED GLASS 6mm THICK.



[illegible]

MEADOWTOWN EXPANSION

ISSUED FOR DEVELOPMENT PERMIT

CLIENT:

ONNI GROUP
JASPER BOSLEY
jbosley@onni.com
604.341.5453

ARCHITECTS:

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LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	SOIL DEPTH PLAN
L1.0	LAYOUT + MATERIALS PLAN
L2.0	PLANTING PLAN
L3.0	PROPOSED PLANT LIST
L4.0	SECTION
L5.0	DETAILS
L5.1	DETAILS
L6.0	PLANT LIST + IMAGES



Gauthier + Associates Landscape Architects Inc.

Meadowtown Expansion
Development Permit
19500 Logwood Way
Pitt Meadows, BC

Onni Group
2210
February 8th, 2023

L0.0
COVER SHEET

GROWING MEDIUM SOIL DEPTH LEGEND

SYMBOL DESCRIPTION

- SOIL DEPTH 90cm
- SOIL DEPTH 100cm

Symbol	Quantity	Latin Name	Common Name	Canopy Size	Soil Volume required
DECIDUOUS TREES:					
	7	Magnolia grandiflora 'Saint Mary'	Saint Mary Southern Magnolia	3.65m	5 m3
	8	Carpinus betulus 'Fastigiata'	'Fastigiata' European Hornbeam	4.57m	5 m3
CONIFERS:					
	19	Picea omorika	Serbian Spruce	4.6m	5 m3



GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
4. THE LAYOUT OF ALL Hardscape ITEMS, SITE FURNISHINGS, BOLLARDS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. LANDSCAPE ARCHITECT SPECIFIED MATERIALS TO BE APPROVED BY REVIEW TO "ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONSULT WITH THE ENGINEERING, BUILDING SITE INSPECTOR FOR DETAILS ON YOUR PROJECT.
7. MAINTENANCE AND IRRIGATION WILL BE PROVIDED TO ALL AREAS.
8. ROAD MARKING AND LINE PAINTING ARE TO BE PAINTED IN WHITE.

MATERIALS LEGEND

SYMBOL	QTY	DESCRIPTION	DETAIL
	P1	QIP CONCRETE PAVING 3"x8" Grid	
	P2	ASPHALT	
	E1	AT GRADE PLANTER	
	F2	RETAINING WALL	
	F3	BOLLARD BEGA model ref 84.024	
	F4	TACTILE WALKING SURFACE TRUNCATED DOMES	
	F5	CLASS 2 BIKE RACK 304 2nd Blue Rack by Sinto design	
	F6	CLASS 1 BIKE RACK Greengrass Model 850950	
	F7	BOLLARD LIGHT Refer to Electrical for specifications and final location	

PROPOSED SWALE
LINING WITH DRAIN
ROCK AND FILTER
FABRIC. REFER TO CIVIL
DRAWINGS.

1206A CHESTNUT
CRESCENT LOT

1206B CHESTNUT
CRESCENT LOT

ONNIT TO UPGRADE TO
WOOD FENCE FOR THE LOT
ON 1206B CHESTNUT
CRESCENT



GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE SIZE AND SPACING TO BE AS PER CITY OF WANCOUVER ARBORIST SERVICES
6. TREE PREPARE PLANTING HOLES AS SPECIFIED. INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
10. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES
12. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHIRL OR GRADE COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE. SHOW IN THE DETAILS.
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
3. PROVIDE 1/2" MINIMUM CLEARANCE FROM SPRINKLER HEAD TO ANY OBSTACLE (WALL, FENCE, GROUND COVER, ETC.) ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE HEADING AT IRRIGATION POINT OF CONNECTION TO THE MAIN LINE. REPORT ANY DIFFERENCES TO THE ARCHITECT. REPORT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION. ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ON WALLS, ROADSWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART (CIRCLE PART AND NOZZLE SIZE) FOR EACH SPRINKLER. VERIFY THE SPRINKLER IS OPERATING AT THE SAME SITE CONDITIONS AND THROTTLE THE FLOW CONTROL VALVE TO ADJUST THE SPRINKLER TO THE DESIRED FLOW RATE. ADJUST THE FLOW CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENT SIZE SLEEVES FOR CONTROL WIRES AND NONPRESSURE LATERAL LINE SLEEVES. IRRIGATION PIPE SLEEVES SHALL BE INSTALLED IN THE LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PIPING MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 1 HOUR. TESTING OF PRESSURE MAIN PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE SIDE IRRIGATION Fittings. PRESURE TESTING RESULTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION.

9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 OR LATERAL DRIPPING CONNECTIONS UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS.
10. CONNECT DRIPLINE PIPING TO PRESSURE ADAPTER TUBING UNITS WITH SCHEDULE 40 OR LATERAL ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS.
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND. IN THIS SHEET THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE IRRIGATION CONTRACT DOCUMENTS.
12. THE IRRIGATION CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWINGS IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST ALL BE APPROVED BY ALL MUNICIPALITY DEPARTMENTS AND PROFESSIONAL HEALTH AND BUILDING CODES.




12. SYSTEM TO BE DESIGNED. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR DETAILS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. IRRIGATION COMMAND CONTROLLER WITH RAIN SENSOR SYSTEM TO BE MOUNTED IN MECHANICAL ROOM.
15. ALL IRRIGATION PIPE TO BE SCHEDULE 40.
16. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
17. INSTALL PRECISION SOIL SENSOR ON SYSTEM.
18. ALL PIPING RUNS ARE DIAGRAMMATIC. AVOID TRENCHING NEAR EXISTING TREE TRUNKS.
19. PIPING SHALL BE NOTED ON THE DRAWINGS. THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 1/2"=1'-0".
20. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
21. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR.

SYMBOL	DESCRIPTION
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RAISED / RECESSED PLANTER AREA TO BE IRRIGATED

WATER CONNECTION CW BACK FLOW PREVENTER COMPLIANT MUST MEET ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES. IT IS UP TO THE INSTALLER TO DETERMINE COMPLIANCE WITH ALL CODES. NOT THE CONSULTANT PROVIDE AUTOMATED TIME CLOCK WITH WEATHER SENSOR IN MECHANICAL ROOM. FLOW RATES TO BE AT 18 GPM. WATER PRESSURE TO BE 40 PSI. REFER TO MECHANICAL DRAWINGS.

HOSE BIB CONNECTION CW BACK FLOW PREVENTER COMPLIANT MUST MEET ALL APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES. IT IS UP TO THE INSTALLER TO DETERMINE COMPLIANCE WITH ALL CODES. NOT THE CONSULTANT.

The site plan illustrates the proposed building enclosure, which consists of eight units labeled CRU 1 through CRU 8. The units are arranged in a long, rectangular building footprint. To the left of the building is a parking area with several spaces, some of which are marked with 'P' and 'V'. A landscaped area with various tree symbols is located between the parking area and the building. A dashed line indicates the 'BUILDING ENCLASURE' boundary. A scale bar at the bottom right shows distances of 0, 5, and 10 meters. A north arrow is also present. A note at the bottom right states: 'BUILDING CODES: IT IS UP TO THE INSTALLER TO DETERMINE COMPLIANCE WITH ALL CODES, NOT THE CONSULTANT.' A small inset map at the bottom right shows the site's location relative to a larger area, with a note: 'SITE SPACING: REFER TO ARCH.'.

1 SITE SIGNAGE. NEED TO ADOPT

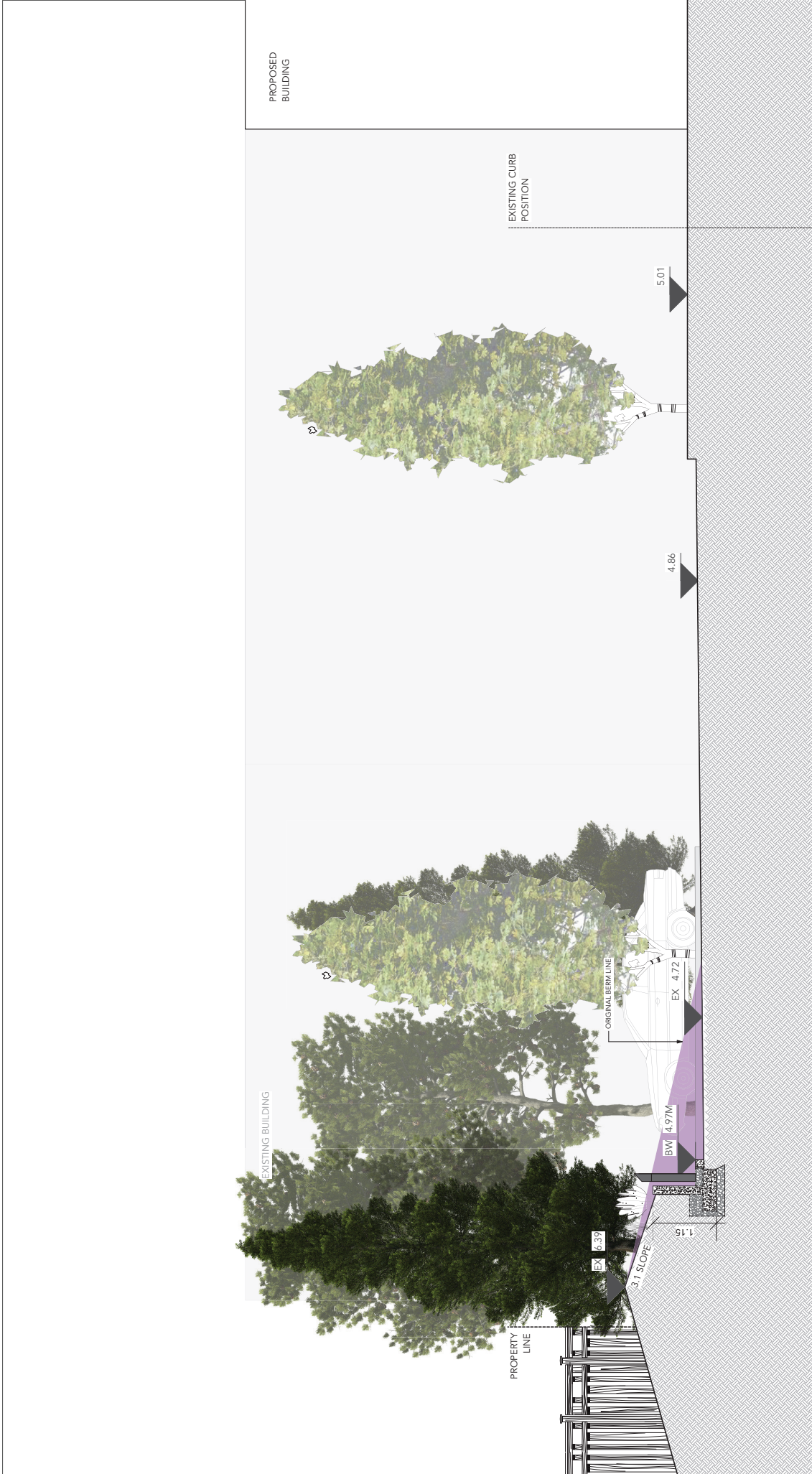
Gauthier + Associates Landscape Architects Inc.

Omni Group
2210
February 8th, 2023

L3.0
IRRIGATION PLAN

629 Atlantic Street, Vancouver, British Columbia, V6A 2J9 www.authoria.com

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1 SECTION 1
Scale: 1:30

G | ALA
Gaulnier + Associates Landscape Architects Inc.

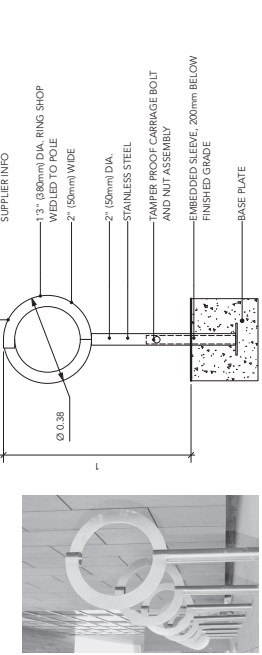
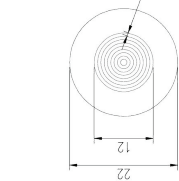
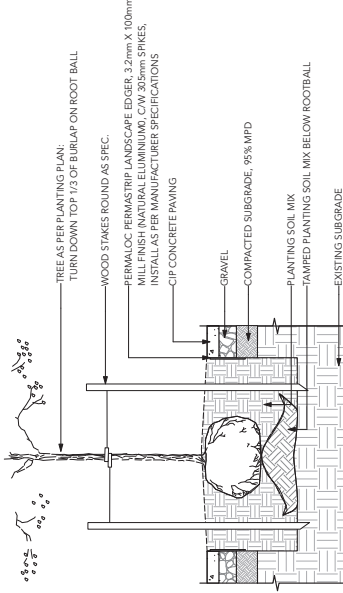
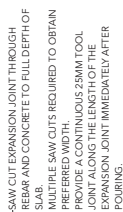
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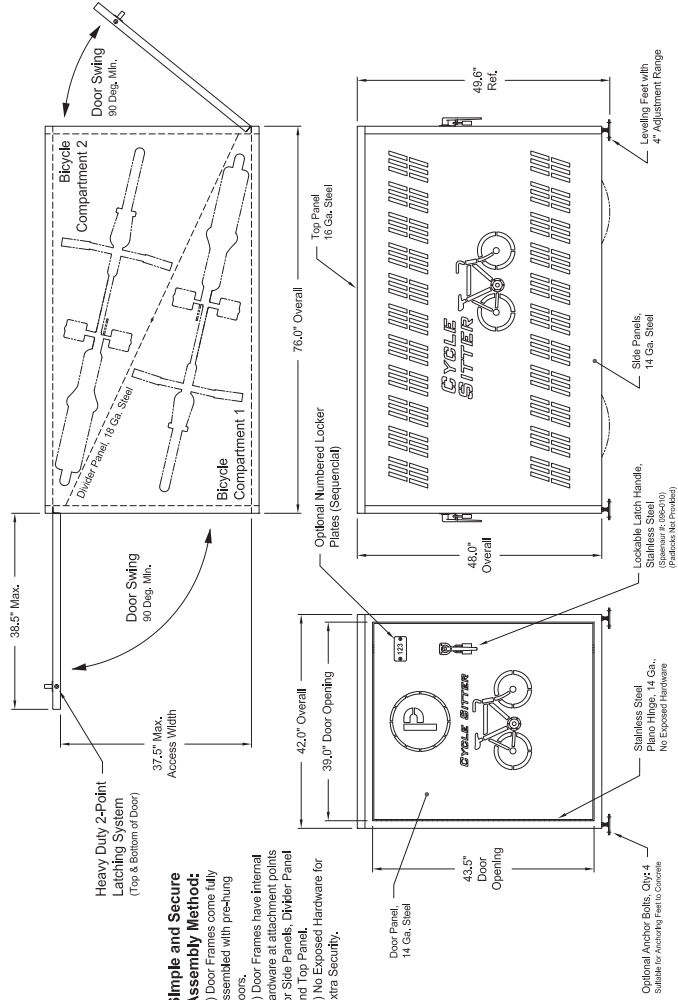
2024-03-14
2024-01-25
2024-01-15

Meadowtown Expansion
Development Permit
19500 Logwood Hwy,
Pitt Meadows, BC

Orni Group
2210
February 8th, 2023







L4.0
SECTION





1 CLASS 1 BIKE RACK
Scale: 1/8" = 1'-0"

OVERALL PLANT LIST

Symbol	Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:						
	7	Magnolia grandiflora 'Saint Mary'	Saint Mary Southern Magnolia	8' Ht. Min	As Shown	B&B Specimen
	8	Carpinus betulus 'Fastigiata'	'Fastigiata' European Hornbeam	10m cal.	As Shown	
CONIFERS:						
	19	Picea omorika	Serbian Spruce	12' Ht. Min	As Shown	B&B Specimen
SHRUBS:						
	31	Taxus x media 'Tautonii'	Tautonii's Yew	B&B	0.4 o.c.	B&B Specimen, 5' Ht.
	111	Rhododendron x 'Purple Gem'	purple gem rhododendron	#2 Pot	0.95 o.c.	Specimen.
PERENNIALS, GRASSES, GROUNDCOVER:						
	100	Leymus mollis	Dune Grass	#3 Pot	0.95 o.c.	

- NOTES:
1. ALL PERENNIAL AND LANDSCAPE PRACTICES SHALL BE COMPLY WITH THE LATEST EDITION OF THE IRLAND MANSURY STANDARD.
 2. ALL PLANTING AND GRADING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
 4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
 5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE IRLAND MANSURY STANDARD, INCLUDING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
 6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING.
 7. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM CALIPER AND INSTALLED WITH APPROVED ROOT BARRIER, TREE GUARDS AND APPROPRIATE SOIL.
 8. ROOT BARRIERS SHALL BE 6" (4" MIN LONG AND 18" (6" MIN DEEP PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. NEW STREET TREES TO BE CONFIRMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

PLANT IMAGES

TREES



Picea omorika
Serbian Spruce



Magnolia grandiflora 'Saint Mary'
Saint Mary Southern Magnolia



Carpinus betulus 'Fastigiata'
Pyramidal European Hornbeam

SHRUBS



Taxus x media 'Tautonii'
Tautonii's Yew



Rhododendron x 'Purple Gem'
Purple Gem Rhododendron

PERENNIAL GRASSES, GROUNDCOVER



Leymus mollis
Dune Grass