

- Cast in Place Coloured Concrete Cast Concrete + 100mm plastic cloth + 100G Gypsum (20-30%) Coloured Latex Color by Solignum Color latex + 100G + 100mm grid
- Cast in Place Coloured Concrete Cast Concrete + 100mm thick mesh + 100G Gypsum (20-30%) Coloured Latex Color by Solignum Color latex + 100G + 100mm grid
- Placed in Place Rubber Substrate Substrate is thick for depths of 100mm + 100G Gypsum (20-30%) Coloured Latex Color by Solignum Color latex by Solignum Substrate by Wapcon Floor
- Color Grout 30-150mm x 40 on PT Slings
- Floor Wood-Chalk Surface 20mm depth
- Phenolphthalein "Shim" not occupied by Southwest Endonote Sample
- Pig Stain - submit sample for review and approval of LA
- GIP Coloured Cast Concrete Placing 100mm cast in 100mm compressed Base Cast "Wood"
- Concrete Unit Forms finished 100-200, 400mm on 100mm compressed Base Cast "Wood"
- Sealed Steel Based Layers on 100mm Gypsum 100mm mesh under the concrete Park Board and sign.
- Park Board and Signing on 50mm Gypsumed Mesh on 100mm Gypsuming Medium

 CH-Idcare Perimeter Fence + Gate
1.8m ht. Powdercoated Aluminum
Main Gate to be 5/8" x 4" Fib. closing hardware and barrier free opener

 CH-Idcare Internal Fences + Gates
0.75m ht. Powdercoated Aluminum

 Residential Fences + Gates
1.2m ht. Powdercoated Aluminum

[illegible]

- 1 All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landmark Standard.
- 2 Plant sizes and standard container sizes are specified according to the B.C. Landmark Standard Current Edition. For container sizes 40 and smaller, plant sizes shall be as shown in the plant and the Standard. For all other plants, both plant size and container size shall be as shown in the plant list. Specifically, when the plant list calls for 95 data containers these shall be 100 gallon B.C. 95 containers.
- 3 All subfences are to be irrigated using a high efficiency drip system, complete in chain sensor. All work to BA00 standards. Refer to specification section 21 04 00.
- 4 Attach stakes to "green house" and maintain a permanent garden time.
- 5 Any plant substitutions are required to be more exotic.
- 6 Growing media must be free of mulchstone material.

There are several funding mechanisms to ensure the proposed landscape is Bird-friendly. The site is currently an open grassy parkland with no trees. The proposed landscape is all planting and grass cover. The existing trees on the adjacent residential street will be retained. The retained existing trees will continue to provide shade and habitat opportunities for birds. New trees are proposed along the west property line, the east property line, and within the fence children outdoor play area. The proposed tree locations have been identified to provide the highest value and a variety of food sources for birds and pollinators.

The proposed shrub, ground cover and perennial planting will all be native plants. Many of the plants within the childrens fence play area are grasses, clover and native shrubs. Newly flowering plants that attract birds are grasses and clover. The proposed shrub locations are native shrubs that attract birds and pollinators.

Outside the childrens fence area, the planting is heavily focused on pollinator species, and does not provide a obligatory for birds. Much of this planting is native to the south coast.

Hardy species are indicated with an 'H' on the plant list.
Pollinator species are indicated with an 'P' on the plant list.

Picea omorika
 Acer circinnatum
 Amelanchier 'Autumn Ballerina'
 Acoris kalmianus
 Potentilla 'Mikotawung'
 Vaccinium 'Bonnie's Best'
 Cornus 'Fabyan'
 Gaultheria procumbens
 Nolina 'Gulfstream'
 Aspidistra 'Cathlamet'
 Polystichum munifolium
 Salix 'Big Boy'

Landscape Design

The goal of the landscape design is to provide a site plan that is both functional and aesthetically pleasing. The design should take into account the site's topography, soil conditions, and existing vegetation. The design should also consider the needs of the community and the surrounding environment.

Observation

The first step in the design process is to observe the site. This involves walking the site and taking notes on the existing conditions. The designer should note the location of the building, the surrounding landscape, and any existing vegetation. The designer should also note the site's topography, soil conditions, and any existing infrastructure.

Plan

The next step in the design process is to develop a plan. This involves creating a site plan that shows the location of the building, the surrounding landscape, and any existing vegetation. The plan should also show the proposed landscape design, including the location of trees, shrubs, and other plants. The plan should also show the proposed hardscape, including the location of paths, walls, and other structures.

Execution

The final step in the design process is to execute the plan. This involves implementing the landscape design, including the planting of trees, shrubs, and other plants. The designer should also ensure that the hardscape is properly installed and that the site is properly maintained.

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Project
Affordable Housing
+ Childcare
19085 119B Avenue
Pitt Meadows BC

Project No. 21-13	Drawn js
Scale =	Reviewed js

Drawing Table

Landscape

Legends

Sheet No. _____

L0.1



Groundswell
LANDSCAPE ARCHITECTURE
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2	2022.09.14	Issue for review
1	2022.03.09	Issue for 30% CD
0	2022.06.01	Issue for review
no	date	item

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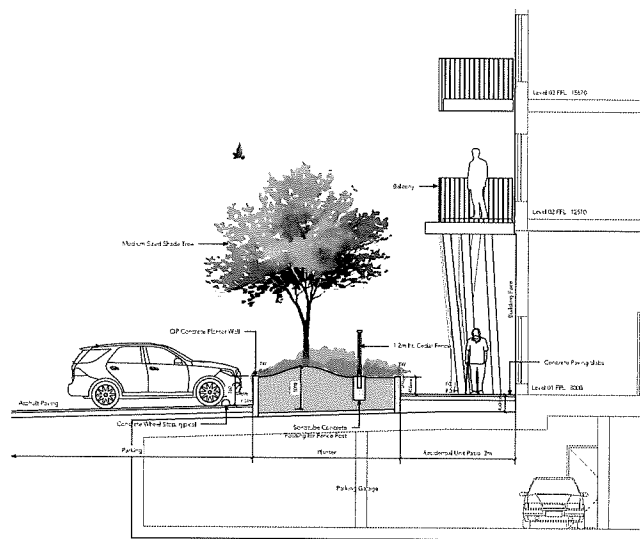
Project
Affordable Housing
+ Childcare
19085 119B Avenue
Pitt Meadows BC

Project No: 21-13 Drawn: jk
Scale: 1:125 Reviewed: jk

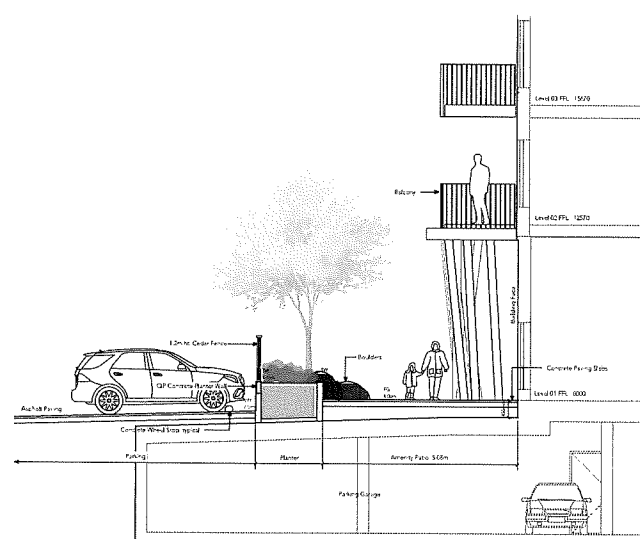
Drawing Title
Landscape Concept
Plan

Sheet No.

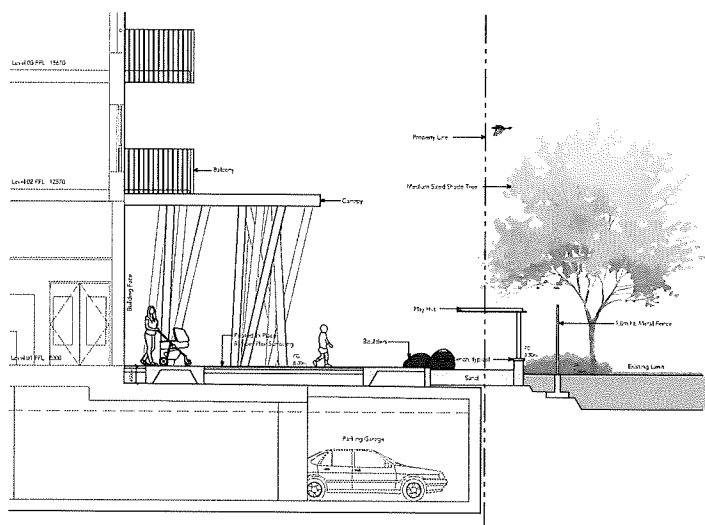
Project North
L1.1



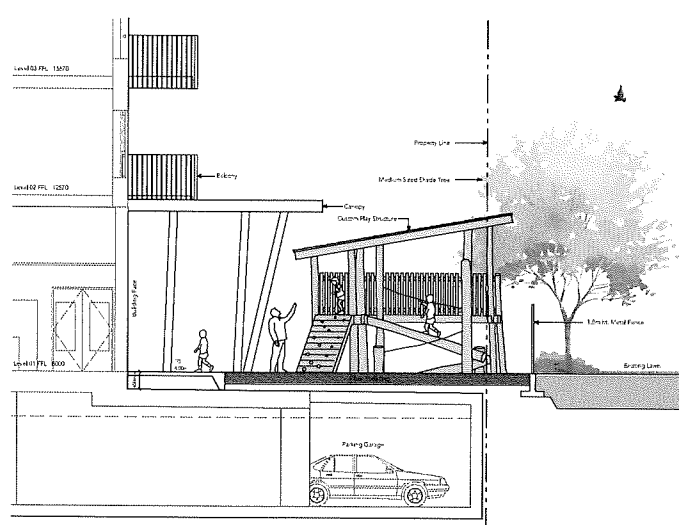
A Section A - Through Residential Patio
L1.1 Scale 1:50



Section B - Through Amenity Patio
Scale 1:50



C Section C - Through Childcare
L 1.1 Scale 1:50



D Section D - Through Childcare
L1.1 Scale 1/50

Groundswell
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Seal

no	date	from	to
1	2022.09.14	issued for reasoning	
1	2022.08.05	issued for 37% CD	
1	2022.06.01	issued for review	

Rev 1.004

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Affordable Housing
+ Childcare
19085 119B Avenue
Pitt Meadows BC

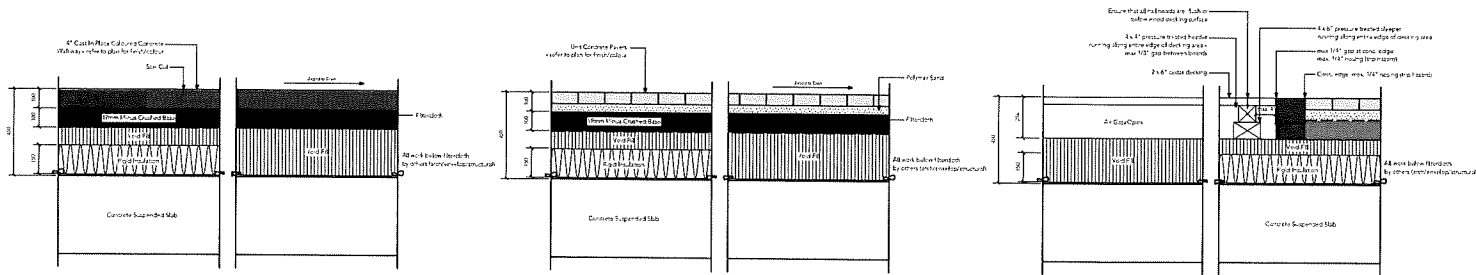
Project No. 21-13 Drawn by
Scale 1/50 Perished by

Drawing Title

Landscape Sections

Street No.

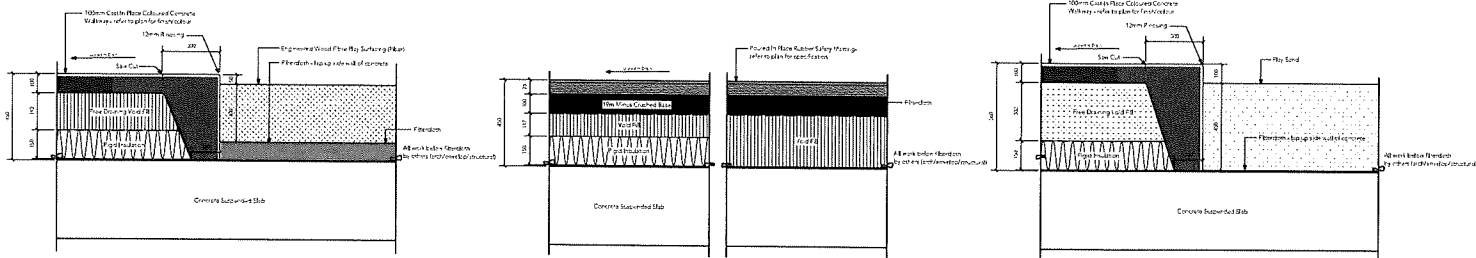
L5.1



Id-01 Childcare - CIP Coloured Concrete Paving
Scale 1" = 1'-0"

Id-02 Childcare - Unit Concrete Pavers
Scale 1" = 1'-0"

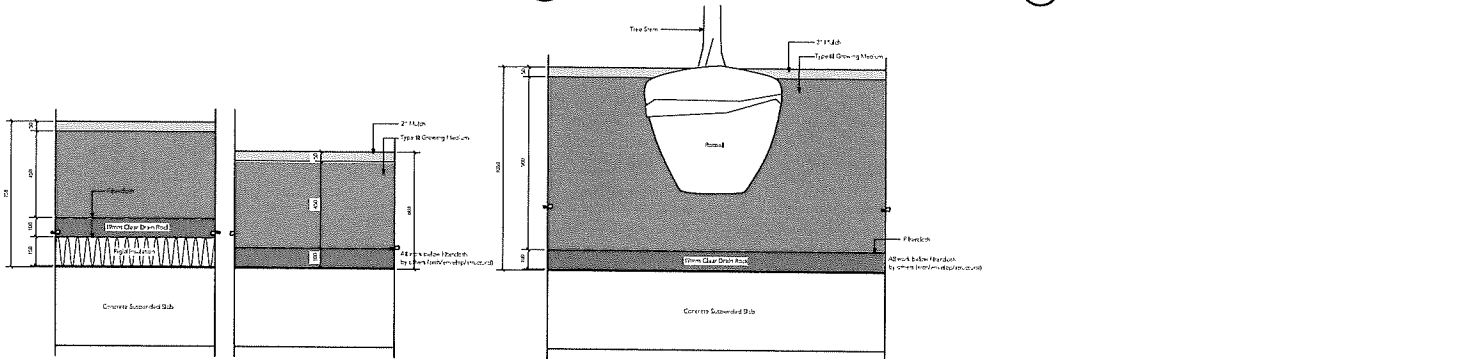
Id-03 Childcare - Cedar Decking
Scale 1" = 1'-0"



Id-04 Childcare - Engineered Wood Fibre (Fibrit)
Scale 1" = 1'-0"

Id-05 Childcare - Poured in Place Rubber Safety Surfing
Scale 1" = 1'-0"

Id-06 Childcare - Play Sand
Scale 1" = 1'-0"



Id-07 Childcare - Planting - Shrubs
Scale 1" = 1'-0"

Id-08 Childcare - Planting - Trees
Scale 1" = 1'-0"

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See

2 2022.09.14 Issued for marketing
1 2022.03.05 Issued for 20% EIR
- 2022.03.01 Issued for review
no date 100%
Rev 2.01

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Project:
Affordable Housing
+ Childcare
19085 119B Avenue
Pitt Meadows BC

Project No: 27-13 Draw: A
Scale: 1/50 Printed: jg

Drawing Title:

Landscape
Childcare Details

Sheet No.:

L6.1