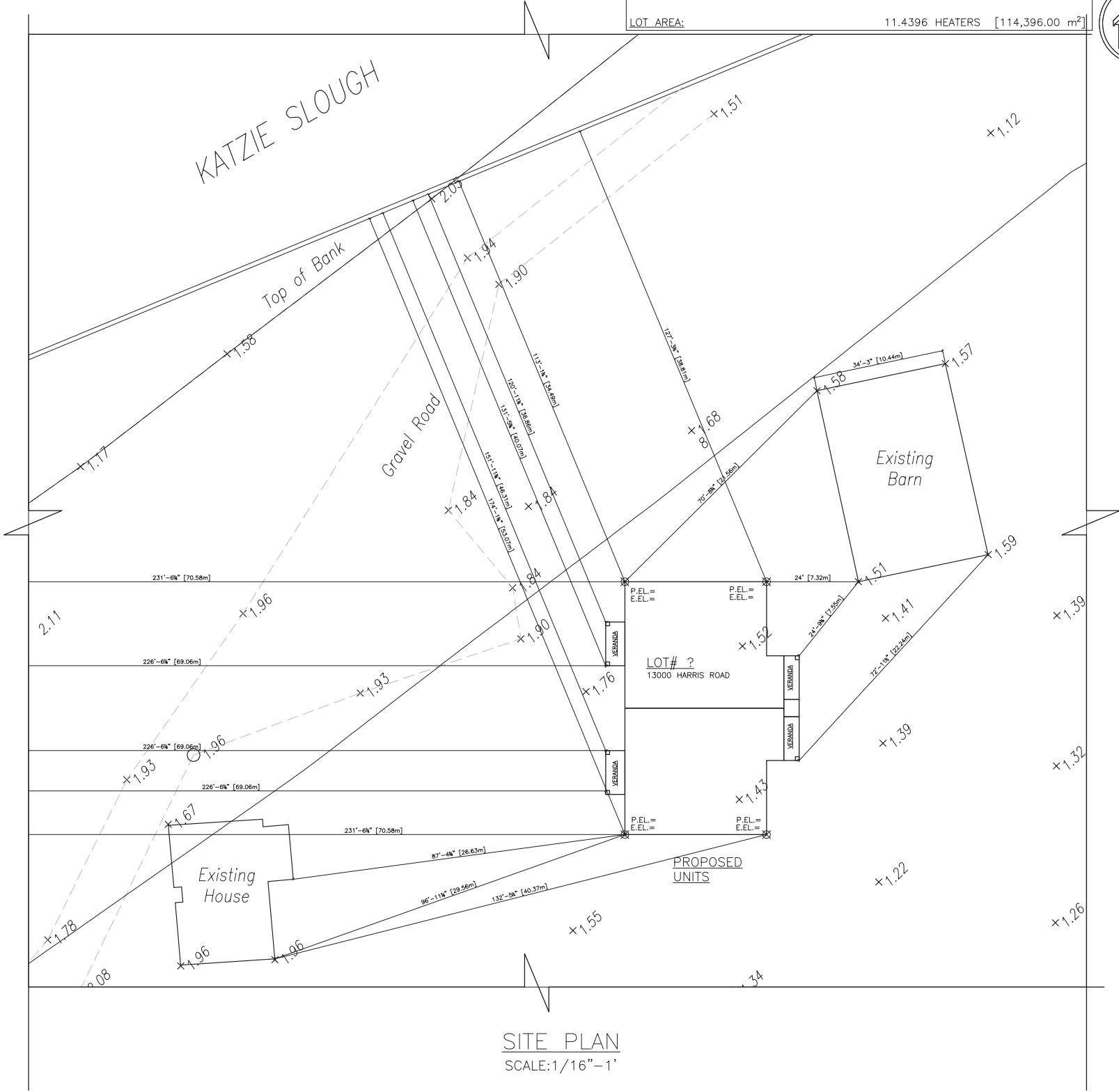
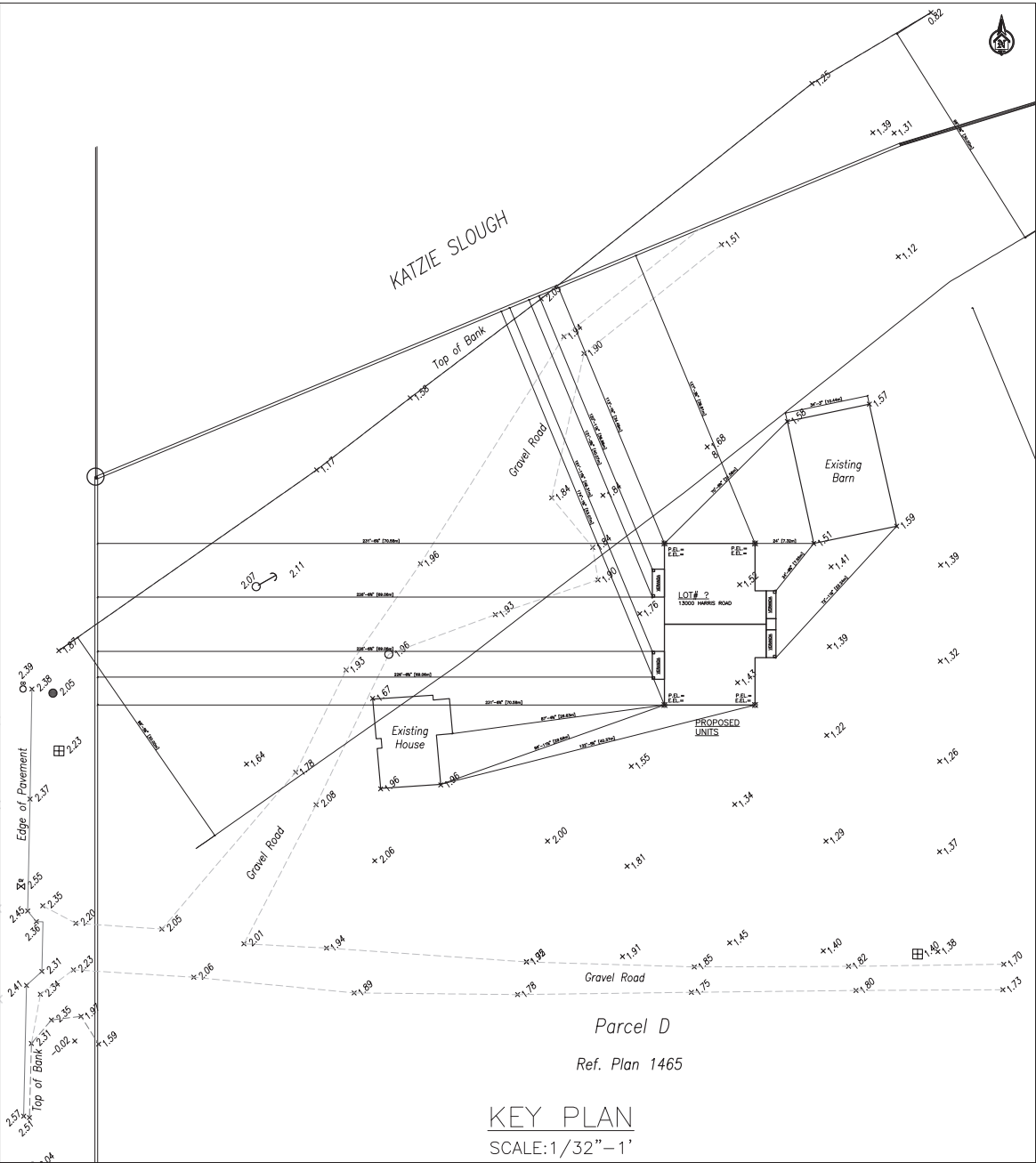




LOT CALCULATIONS

CIVIC ADDRESS:	13000 - HARRIS ROAD PITT MEADOWS
LOT AREA:	11.4396 HEATERS [114,396.00 m²]

PROPOSED UNITS #1,#2,#3,#4 FOR 40 PEOPLE			
	CALCULATED (INTERIOR) AREA	AREA PROVIDED FOR PER PERSON	MIN.ALLOWABLE AREA PER PERSON
TOTAL LIVING AREA (EXCLUDING IN LAUNDRY, BATH IN STORAGE)	358.02 SQ.M.	9.95 SQ.M./PERSON	7.44 SQ.M./PERSON
STORAGE OR CLOSET	19.30 SQ.M.		
SLEEPING (BEDROOM) VOLUME SPACE	530.48 CUB.M.	13.26 CUM M./PERSON	8.5CUB. M./PERSON
STOVE: TWO (2) IN EACH UNIT			
REFRIGERATOR: TWO (2) IN EACH UNIT			
LAUNDRY : ONE (1) IN EACH UNIT			
COMMON LAUNDRY ONE (1)			



THESE PLANS CONFORM TO REQUIREMENTS
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE



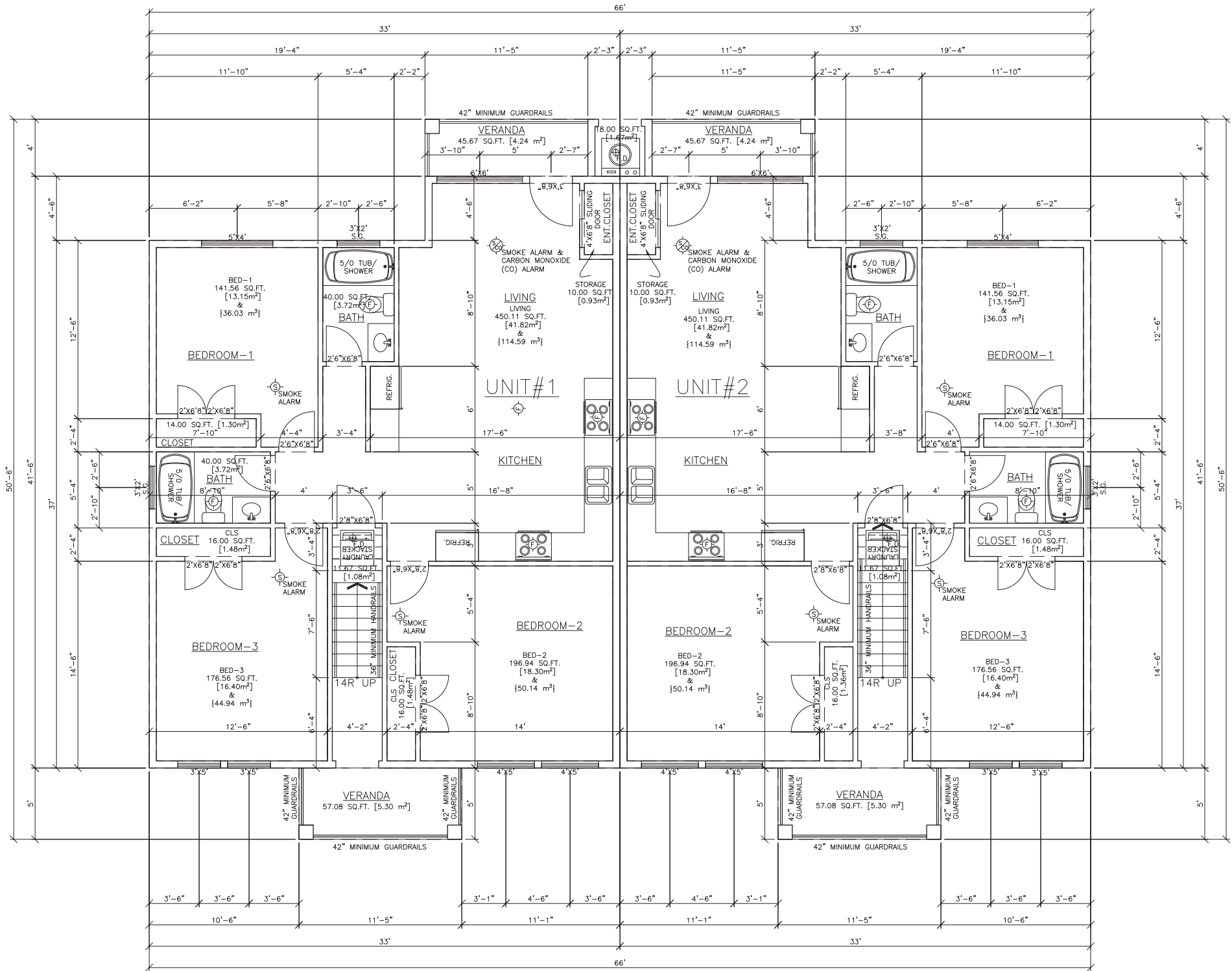
Dhillon
Designs Ltd.

TITLE
PROPOSED RESIDENCE FOR MR. P.J. SAINI / RYAN 13000 HARRIS ROAD PITT MEADOWS

DWN:	S.P.
SCALE:	1/4"=1'
DATE:	MARCH 01, 2022
CHKD:	
PHONE:	778-891-9076 / 778-554-3777

DRAWING NO.
DD22-8684-P1

DHILLON DESIGNS LTD.
UNIT 215-12830-80th AVE.
SURREY, B.C. V3W 3A5
PHONE: (604) 590-2808
FAX: (604) 590-2878
EMAIL: info@dhillondesigns.ca



UNIT#1 (FLOOR AREA)

- LIVING AREA =41.82 m²
- SLEEPING AREA =47.85 m²
- CLOSET & STORAGE AREA=5.20 m²
- BATH AREA=7.44 m²
- LAUNDRY AREA=2.16 m²

UNIT#2 (FLOOR AREA)

- LIVING AREA =41.82 m²
- SLEEPING AREA =47.85 m²
- CLOSET & STORAGE AREA=5.20 m²
- BATH AREA=7.44 m²
- LAUNDRY AREA=2.16 m²

- COMMON LAUNDRY AREA=1.67 m² [18.00 SQ.FT.]

MAIN FLOOR

SCALE:1/4"=1'
9'-0 3/4" CEILING

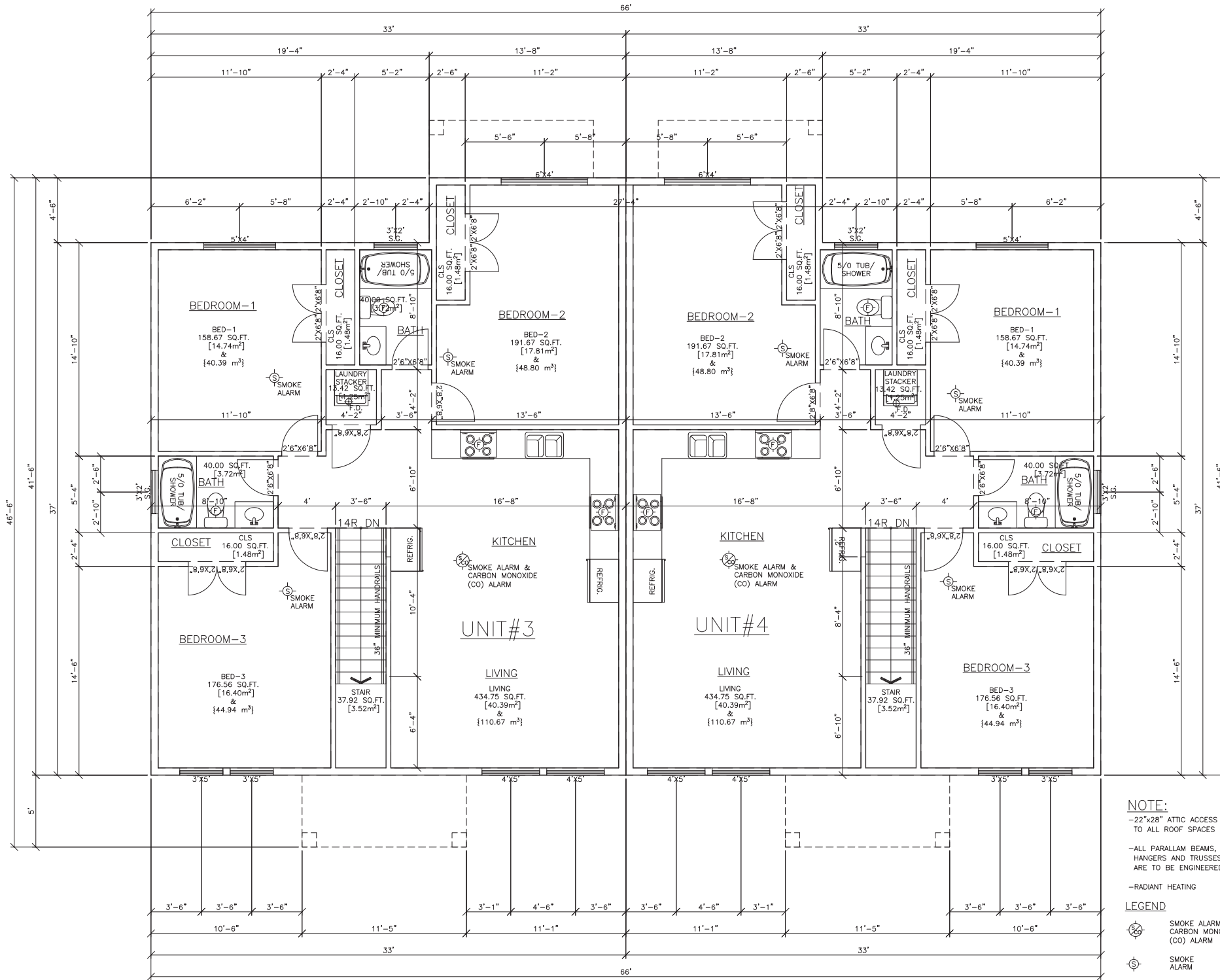
MAIN FLOOR AREA (UNIT#1) =1282.50 SQ.FT. [119.15 M²]
MAIN FLOOR AREA (UNIT#2) =1282.50 SQ.FT. [119.15 M²]
COMMON LAUNDRY AREA=18.00 SQ.FT. [1.67 M²]
TOTAL BUILT-UP OF MAIN FLOOR=2583.00 SQ.FT. [239.97 M²]

LEGEND

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- FLOOR DRAIN
- FAN

THESE PLANS CONFORM TO REQUIREMENTS
IN THE B.C. BUILDING CODE 2018.

DRAWING NO.	REFERENCE	NO.	REVISION	BY	DATE	TITLE	DWN	S.P.	DRAWING NO.	PHONE
						PROPOSED RESIDENCE FOR MR. P.J. SAINI / RYAN 13000 HARRIS ROAD PITT MEADOWS			DD22-8684-P2	778-891-9076 / 778-554-3777
						DHILLON DESIGNS LTD. UNIT 215-12830-80TH AVE. SURREY, B.C. V3W 3A5 PHONE: (604) 590-2808 FAX: (604) 590-2878 EMAIL: info@dhillondesigns.ca				



NOTE:
-22"x28" ATTIC ACCESS
TO ALL ROOF SPACES

-ALL PARALLAM BEAMS,
HANGERS AND TRUSSES
ARE TO BE ENGINEERED.

-RADIANT HEATING

- LEGEND
- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
 - SMOKE ALARM
 - FLOOR DRAIN
 - FAN

UNIT#3 (FLOOR AREA)
- LIVING AREA =40.39 m²
- SLEEPING AREA =48.95 m²
- CLOSET & STORAGE AREA=4.45 m²
- BATH AREA=7.44 m²
- LAUNDRY AREA=2.5 m²

TOP FLOOR AREA (RHS) =1282.50 SQ.FT. [241.61 M²]
STAIR AREA =37.92 SQ.FT [3.62 M²]
NET TOP FLOOR AREA (RHS)=1244.58 [115.63 M2]

TOP FLOOR AREA (LHS) =1282.50 SQ.FT. [241.61 M²]
STAIR AREA =37.92 SQ.FT [3.62 M²]
NET TOP FLOOR AREA (LHS)=1244.58 [115.63 M²]

TOTAL NET FLOOR AREA OF TOP=2489.16 SQ.FT [231.25 M²]

TOP FLOOR
SCALE:1/4"=1'
9'-0 3/4" CEILING

UNIT#4 (FLOOR AREA)
- LIVING AREA =40.39 m²
- SLEEPING AREA =48.95 m²
- CLOSET & STORAGE AREA=4.45 m²
- BATH AREA=7.44 m²
- LAUNDRY AREA=2.5 m²



Dhillon
Designs Ltd.

PROPOSED RESIDENCE FOR
MR. P.J. SAINI / RYAN
13000 HARRIS ROAD
PITT MEADOWS

TITLE

DWN: S.P.
SCALE: 1/4"=1'
DATE: MARCH 01, 2022
CHKD:
PHONE: 778-891-9076

DRAWING NO.

DD22-8684-P3

THESE PLANS CONFORM TO REQUIREMENTS
IN THE B.C. BUILDING CODE 2018.

DHILLON DESIGNS LTD.
UNIT 215-12830-80th AVE.
SURREY, B.C. V3W 3A5
PHONE: (604) 590-2808
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